

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN DEPOT AND PINE STREET REDEVELOPMENT

BLOCK 2301, LOTS 11, 12 AND 14-19; TAX MAP #23.01
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

OWNERS OF RECORD:

TOWNSHIP OF VERONA
600 BLOOMFIELD AVE
VERONA, NJ 07044

POEKEL PROPERTIES, LLC
860 BLOOMFIELD AVENUE
VERONA, NJ
BLOCK 2301, LOT 17
BLOCK 2301, LOT 18
(FORMERLY BLOCK 504, LOT1)

APPLICANT:

PIRHL DEVELOPERS LLC
ATT: LARA SCHWAGER, VICE PRESIDENT OF DEVELOPMENT
5 COMMERCE WAY, SUITE 210E
HAMILTON, NJ 08691
(609) 751-9664



ENGINEER

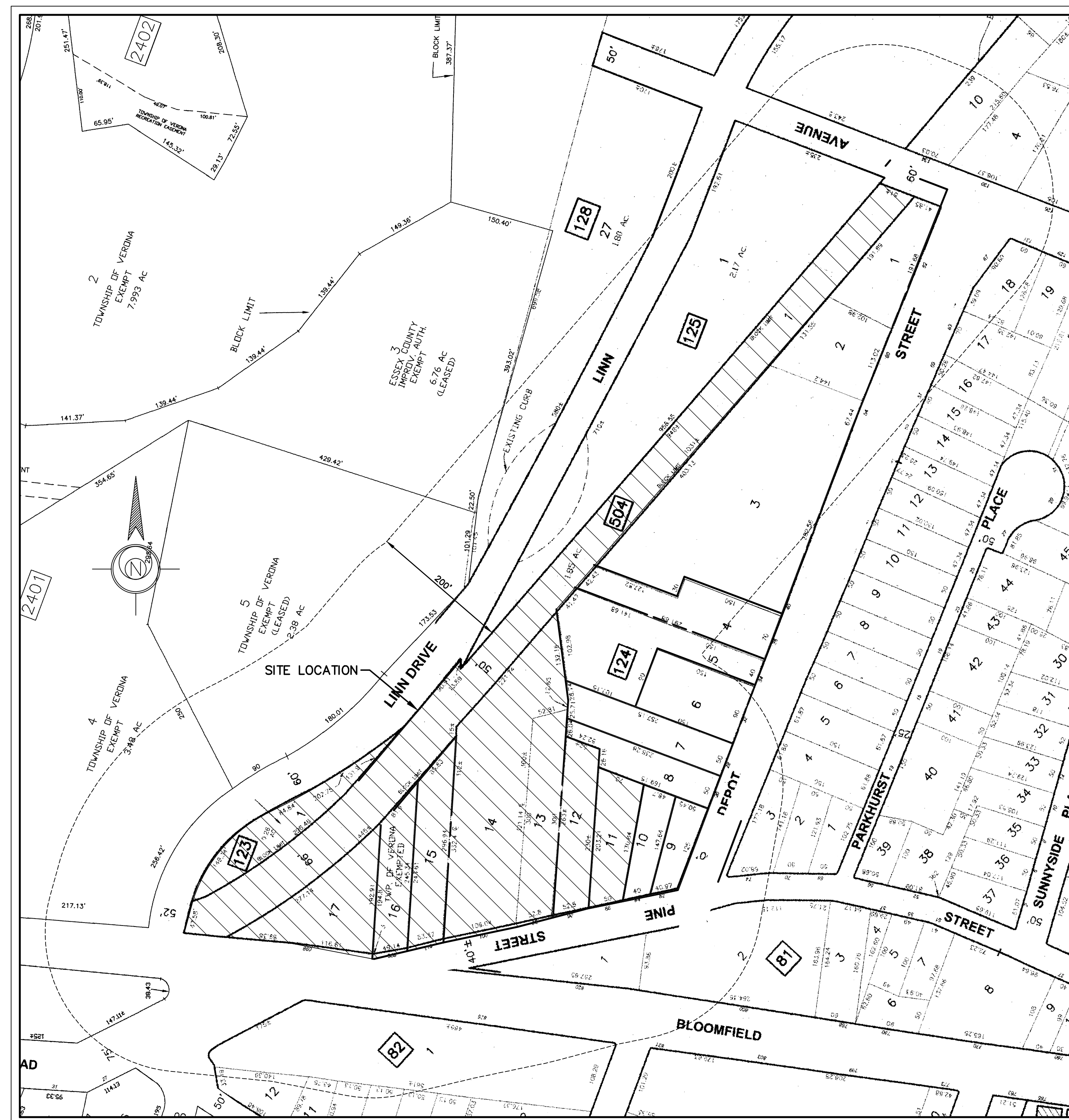
ESE CONSULTANTS, INC.
100 WILLOW BROOK ROAD, SUITE 200
FREEHOLD, NJ 07728
(732) 446-8446

CONTACT:
JAY S. KRUSE, P.E.
PROJECT ENGINEER

LANDSCAPE ARCHITECT

MELILLO+BAUER ASSOCIATES
RAMSHORN EXECUTIVE CENTER
2399 HIGHWAY 34, BUILDING D-3
MANASQUAN, NJ 08736
(732) 528-0664

CONTACT:
LYNN A. YAHIA, LA
LANDSCAPE ARCHITECT

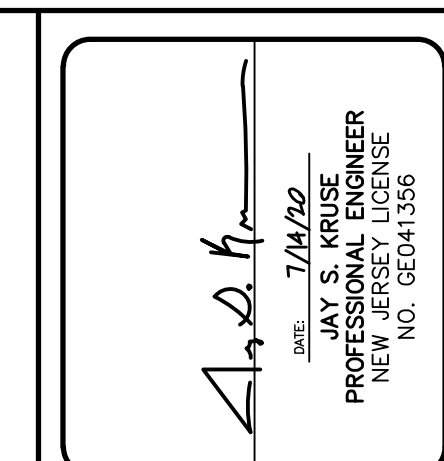


PROJECT LOCATION MAP
SCALE: 1"=100'

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14	ES10.02	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS

APPROVED BY THE VERONA TOWNSHIP PLANNING BOARD.	
PRELIMINARY _____	FINAL _____
CHAIRMAN _____	DATE _____
SECRETARY _____	DATE _____
APPLICATION _____	



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ESE Consultants, Inc.
100 Willow Brook Road • Suite 200 • Freehold, NJ 07728
T: 732-446-8446
New Jersey Certificate of Authorization No. 24GA2799900

REV.	DATE	DESCRIPTION

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COVER SHEET

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
DEPOT AND PINE STREET REDEVELOPMENT
BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE: JULY 14, 2020	SCALE: AS SHOWN
DESIGN: JSK	DRAWN: TJC
JOB NO.: 20024	FILE NAME: 20024-01-COVER
REF. NO.: SD01.01	
SHEET NO.: 1	OF 14

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PROPERTY OWNERS LIST

TOWNSHIP OF VERONA
VERONA, NEW JERSEY 07044
LIST OF PROPERTY OWNERS SERVED WITHIN 200 FEET OF:
BLOCK 2301 LOTS 11, 12, 14, 15, 16, 17, 18, 19

BLOCK	LOT NAME & ADDRESS	BLOCK	LOT NAME & ADDRESS
16044	O'NEILL, JOHN A & DENA 29 DEPOT ST, VERONA, NJ 07044	16018	EHRLICH, DEAN & NICOLE 10 BEECHWOOD RD, VERONA, NJ 07044
16011	ARCADIAN PROFESSIONAL PROPERTIES NJ 825 BLOOMFIELD AVE, VERONA, NJ 07044	16019	SCOTT, EVAN J 12 BEECHWOOD RD, VERONA, NJ 07044
16042	PUCHALSKI, GLEN & DROSSMAN, SARAH 70 PINE ST, VERONA, NJ 07044	160110	TICHENOR, JOHN & GENTILE, LINDA 14 BEECHWOOD RD, VERONA, NJ 07044
16043	DISTEFANO, GRACE EST OF 74 PINE ST, VERONA, NJ 07044	160111	WOJTAŁ, MAUREEN 18 BEECHWOOD RD, VERONA, NJ 07044
23015	BIANCO, JOHN A & JOHN D 34 DEPOT ST, VERONA, NJ 07044	22058	A&R SKYLINE PROPERTIES, LLC 704 PASSAIC AVE, WEST CALDWELL, NJ 07006 RE: 885 BLOOMFIELD AVENUE VERONA
23016	32 DEPOT, LLC 312 FAIRVIEW AVE, CEDAR GROVE, NJ 07009 RE: 32 DEPOT STREET VERONA	24014	TOWNSHIP OF VERONA 600 BLOOMFIELD AVE, VERONA, NJ 07044 RE: 880 BLOOMFIELD AVENUE VERONA
23017	JOHN D BIANCO LLC 28 DEPOT ST, VERONA, NJ 07044	160112	KOUZMINA, SVETLANA & FLORES, JAVIER 18 BEECHWOOD RD, VERONA, NJ 07044
23018	BIANCO, JOHN D & MARIE A 26 DEPOT ST, VERONA, NJ 07044	23044	VERZELLA, JONATHAN & DENISE 130 PERSONETTE AVE, VERONA, NJ 07044
230110	MARTIN, JOEL & MONIKA 80 PINE ST, VERONA, NJ 07044	230411	CAM GAR PO BOX 837, 39 MAIN ST, CHATHAM, NJ 07928 RE: LINN DRIVE
23019	82 PINE REALTY LLC C/O J. BIANCO 36 DEPOT ST, VERONA, NJ 07044 RE: 82 PINE STREET VERONA	160415	DI ROMA, FRANK 57 DEPOT ST, VERONA, NJ 07044
16032	VERONA FIELDSTONE LLC 1719 ROUTE 10 #220, PARSIPPANY, NJ 07054 RE: 800 BLOOMFIELD AVENUE VERONA	160414	DUDA, MICHAEL & KULESA, NICOLE 55 DEPOT ST, VERONA, NJ 07044
16031	COLLINS, MARSHA 582 MONMOUTH AVE APT 3B SPRING LAKE HEIGHTS, NJ 07762 RE: 820 BLOOMFIELD AVENUE VERONA	160413	CALLARI, JOHN 51 DEPOT ST, VERONA, NJ 07044
24013	ESSEX COUNTY IMPROVEMENT AUTHORITY 155 PASSAIC AVE 4TH FL, FAIRFIELD, NJ 07004 RE: 880 BLOOMFIELD AVENUE VERONA	160416	YOUNG, GENE M ESTATE OF 59 DEPOT ST, VERONA, NJ 07044
24015	COUNTY OF ESSEX HALL OF RECORDS, NEWARK, NJ 07102 RE: LINN DRIVE	230410	VASALANI, MICHAEL J & JOAN M 134 PERSONETTE AVE, VERONA NJ 07044
230120	CAM GAR AT VERONA LLC PO BOX 837, 39 MAIN ST, CHATHAM, NJ 07928 RE: LINN DRIVE	160418	VAN BENSCHOTEN, M & STIEFBOLD, K 131 PERSONETTE AVE, VERONA, NJ 07044
23021	CAM GAR PO BOX 837, 39 MAIN ST, CHATHAM, NJ 07928 RE: LINN DRIVE	160417	ROMAN, JOSE & MONICA 63 DEPOT ST, VERONA, NJ 07044
23013	DEPOT STREET REALTY, LLC 40 DEPOT ST, VERONA, NJ 07044 RE: 40-54 DEPOT STREET	160419	KIEL, CHRISTOPHER & ALEXIS 129 PERSONETTE AVE, VERONA, NJ 07044
23014	J & J BIANCO HOLDING COMPANY 36 DEPOT ST, VERONA, NJ 07044	23012	WILLMATT COMPANY LLC 60 DEPOT ST, VERONA, NJ 07044
16012	COONEY, JASON & LYNDSAY 14 CHESTNUT RD, VERONA, NJ 07044	23043	JACKSON, CHARLES R & MARY WILLIAMS 126 PERSONETTE AVE, VERONA, NJ 07044
16017	POLIFRONE, MICHAEL & DRAGO, KARLA 8 BEECHWOOD RD, VERONA, NJ 07044	23021	CAM GAR PO BOX 837, 39 MAIN ST, CHATHAM, NJ 07928 RE: LINN DRIVE
		23011	CAMPUS DEVELOPMENT LLC 62 DEPOT ST, VERONA, NJ 07044

UTILITY AND ADDITIONAL NOTIFICATION LIST

NEW JERSEY BELL TELEPHONE CO.
ATTN: CORPORATE SECRETARY
540 BROAD STREET ROOM 1005, NEWARK, NJ 07101

AMERICAN TELEPHONE & TELEGRAPH CO.
ATTN: KARL GROSSMANN
PATRICIA DRIVE, FLANDERS, NJ 07836

PUBLIC SERVICE ELECTRIC & GAS CO.
ATTN: MANAGER CORPORATE PROPERTIES
80 PARK PLACE, T6B, NEWARK, NJ 07102

PASSAIC VALLEY WATER COMMISSION
ATTN: CORPORATE SECRETARY
1525 MAIN AVENUE, CLIFTON, NJ 07011

MCI 10 MARCELLO AVE., ATTN: JOHN SCOCCOLA
WEST ORANGE, NJ 07052

COMCAST CABLE
800 RAHWAY AVENUE, UNION, NEW JERSEY 07083

BULK REQUIREMENTS

BULK REQUIREMENTS FOR THE MULTI FAMILY-MID RISE REDEVELOPMENT OVERLAY ZONE (A-2R) PER THE DEPOT AND PINE REDEVELOPMENT AREA REDEVELOPMENT PLAN

ZONE REQUIREMENTS:	REQUIRED	PROPOSED
MINIMUM ACREAGE	4.0 AC	4.153 AC
MAXIMUM RESIDENTIAL DENSITY PER ACRE	N/A	N/A
MINIMUM FRONT YARD SETBACK- FEET	20 FT	20 FT
MINIMUM SIDE YARD SETBACK-INDIVIDUAL OR ONE- FEET	15 FT	NA
MINIMUM SIDE YARD SETBACK COMBINED OR BOTH- FEET	35 FT	NA
MINIMUM REAR YARD SETBACK- FEET	20 FT	20 FT
ACCESSORY STRUCTURE SETBACKS		
SHEDS		
• FRONT	20 FT	10 FT (V)
• SIDE	3 FT	NA
• REAR	3 FT	22.6 FT
TRASH ENCLOSURE		
• FRONT	20 FT	23 FT
• SIDE	5 FT	NA
• REAR	5 FT	7 FT
MAXIMUM DWELLING UNITS PER ACRE	N/A	N/A
MAXIMUM HEIGHT-BUILDING AFFORDABLE HOUSING*	54 FT	<54 FT
MAXIMUM (IMPROVED) LOT COVERAGE-PERCENT	80%	57.2%
MAXIMUM IMPROVED LOT COVERAGE WITH 87 UNITS	90%	NA
MAXIMUM DWELLING UNITS-PROJECT AREA	100 UNITS	95 UNITS

*THE "PERMITTED EXCEPTIONS" REGARDING "HEIGHT REGULATIONS" §150-5.2B, SHALL BE APPLICABLE TO THE A-2R OVERLAY ZONE

PARKING REQUIREMENT PER MULTI FAMILY-MID RISE REDEVELOPMENT OVERLAY ZONE (A-2R)

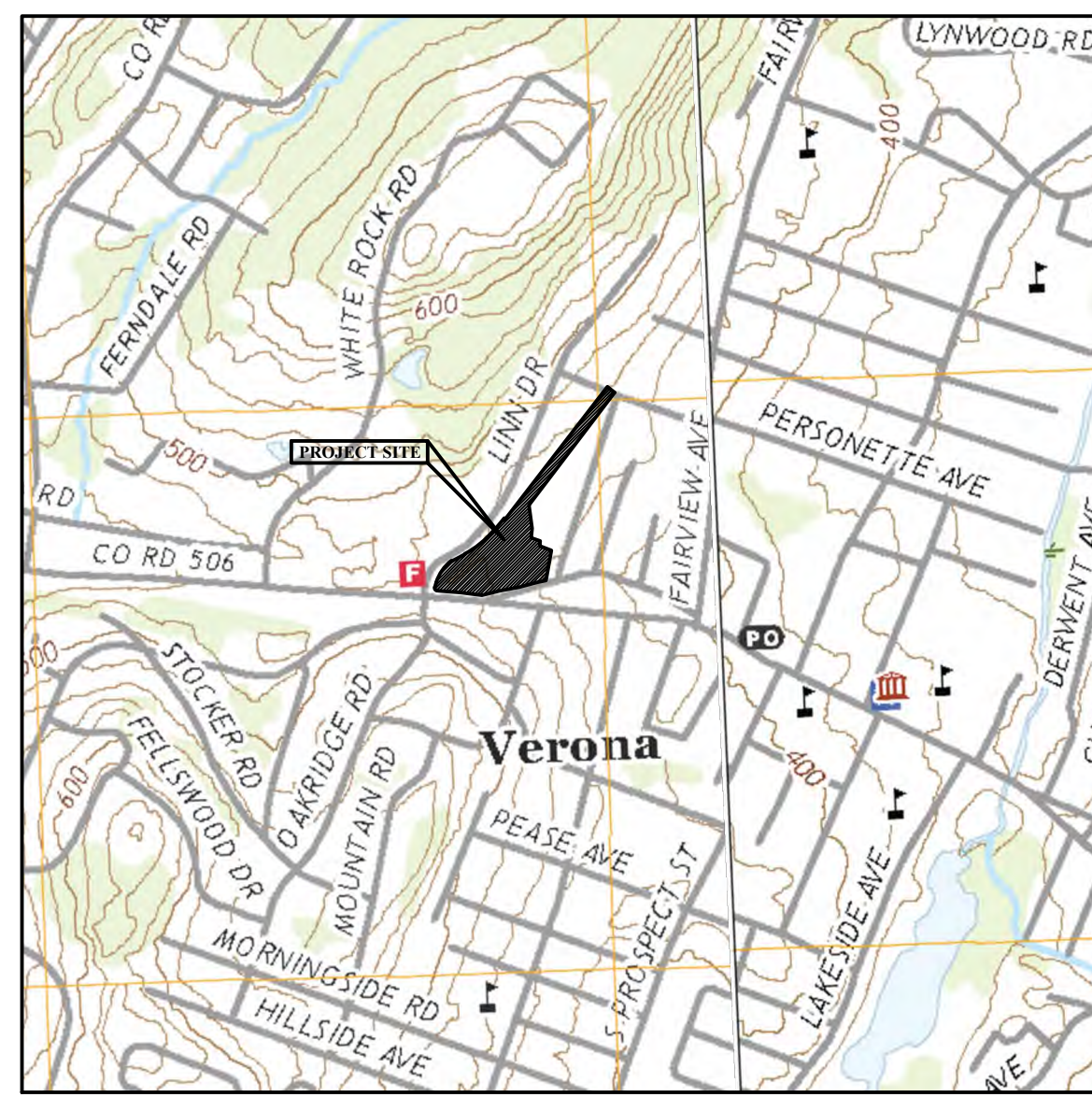
PARKING STANDARD	UNITS	REQUIRED	PROPOSED
1.5 SPACES PER AFFORDABLE RESIDENTIAL UNIT	95	143 SPACES	143 SPACES

VARIANCES, WAIVERS AND/OR EXCEPTIONS

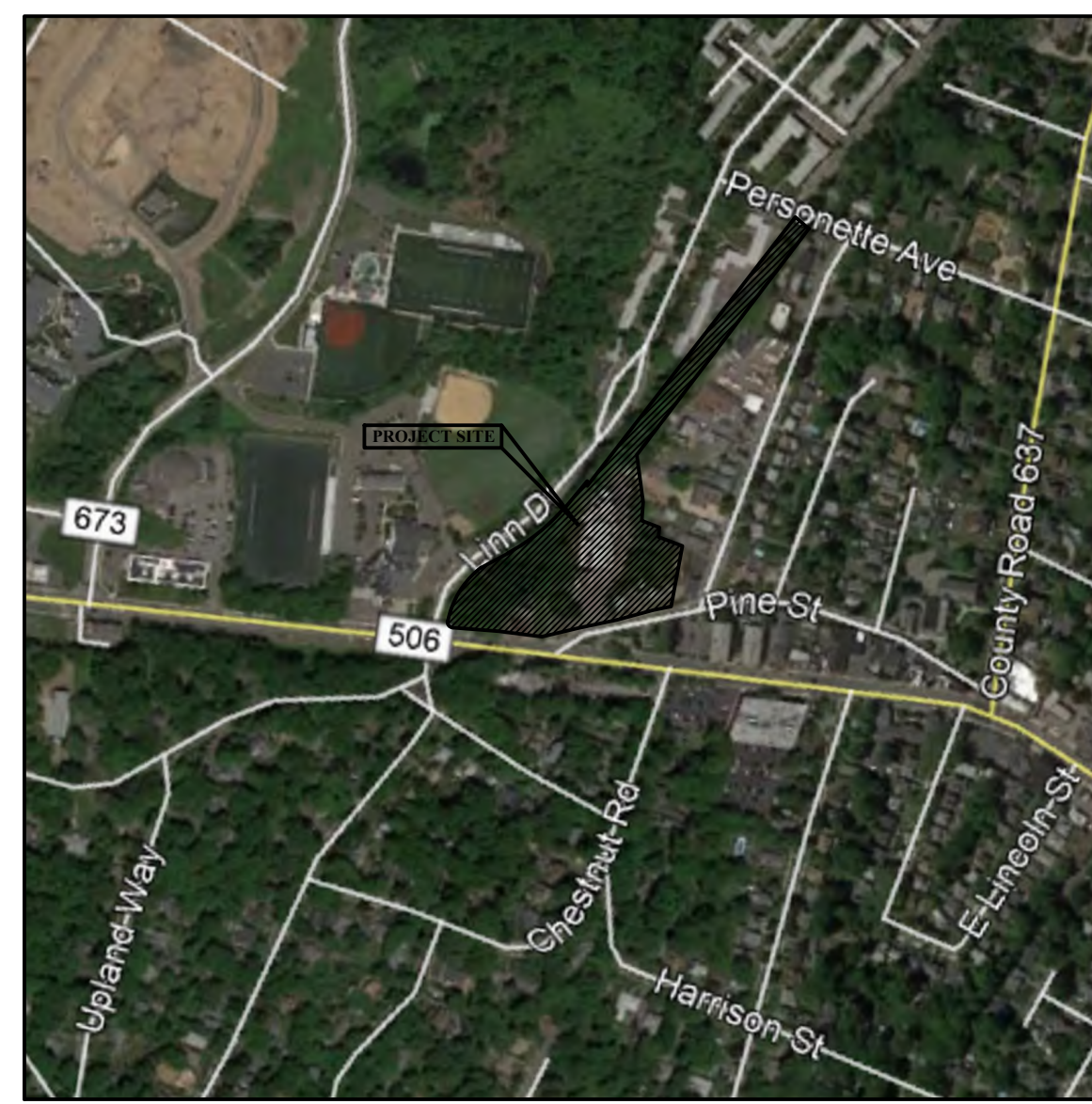
- VARIANCE FOR ACCESSORY BUILDING (SHED) FRONT YARD SETBACK OF 10 FT WHERE 20 FT IS REQUIRED.

GENERAL NOTES

- OWNER:
TOWNSHIP OF VERONA
600 BLOOMFIELD AVE
VERONA, NJ 07044
POEKL PROPERTIES, LLC
860 BLOOMFIELD AVENUE
VERONA, NJ
BLOCK 2301, LOT 17
BLOCK 2301, LOT 18
(FORMERLY BLOCK 504, LOT1)
- APPLICANT:
PIRHL DEVELOPERS LLC
LARA SCHWAGER, VICE PRESIDENT OF DEVELOPMENT
5 COMMERCE WAY, SUITE 210E
HAMILTON, NJ 08691
- SITE DATA:
TAX PARCEL NUMBERS: BLOCK 2301, LOTS 11, 12 AND 14-19
ZONE: MULTI-FAMILY MID RISE OVERLAY ZONE (AR-2)
(PER THE DEPOT AND PINE REDEVELOPMENT AREA REDEVELOPMENT PLAN)
OVERALL PROPERTY AREA: 5,025 AC (218,914 SF)
NUMBER OF EXISTING LOTS: 8 LOTS
NUMBER OF PROPOSED LOTS: 2 LOTS
- TRACT IS KNOWN AND DESIGNATED AS BLOCK 2301, LOTS 11-12 AND 14-19 AS SHOWN ON SHEET 23.01 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY.
- BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM PLAN ENTITLED "BOUNDARY & TOPOGRAPHIC SURVEY, TOPOGRAPHIC DETAIL, LOTS 11, 12, 14, 15, 16, 17, 18 & 19, BLOCK 2301, TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY" PREPARED BY NEGLIA ENGINEERING ASSOCIATES DATED NOVEMBER 7, 2019, REVISED JUNE 16, 2020.
- THE VERTICAL DATUM SHOWN IS BASED ON NAVD88 AS ESTABLISHED USING GPS METHODS AND THE SMARTNET NETWORK.
- HORIZONTAL DATUM FOR SITE BASED ON NAD 83 (2011), NJ STATE PLANE COORDINATE SYSTEM AS ESTABLISHED USING GPS METHODS AND THE SMARTNET NETWORK.
- ALL WORK SHALL CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
 - NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION
 - ESSEX COUNTY DESIGN STANDARDS
 - MUNICIPAL DESIGN STANDARDS
 - N.J. RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS)
 - CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS
 - CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE, SUBCHAPTER 7: BARRIER FREE SUBCODE AND/OR 2010 ADA STANDARDS, AS APPLICABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
- THE CONTRACTOR IS DESIGNATED AS RESPONSIBLE PARTY DURING CONSTRUCTION OF IMPROVEMENTS SHOWN HEREON. AS SUCH CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OVERSIGHT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
- ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND LOCAL REQUIREMENTS OF THE HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT.
- THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION OR SOIL DISTURBANCE ON-SITE OR WITHIN PUBLIC ROW. CALL 811 OR (800)-272-1000.
- ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY OR AUTHORITY TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION.
- ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- DURING ROW WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI, LATEST EDITION, AND/OR TOWNSHIP OF VERONA REQUIREMENTS.
- THE CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIRS TO EXISTING ROADWAYS.
- CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL DEMOLISH EXISTING STRUCTURES, APPURTENANCES, AND MATERIALS AS SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR EXISTING SERVICE DISCONNECTIONS AND DEMOLITION PERMITS.
- ALL IMPROVEMENTS SHOWN HEREON "TO BE REMOVED" SHALL BE DISPOSED OF IN A MANNER THAT MEETS, LOCAL, COUNTY, STATE AND FEDERAL REQUIREMENTS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
- THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL AND AGENCY APPROVALS ONLY. THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL MARKED WITH A NOTE STATING "FOR CONSTRUCTION". ALL BUILDING FOOTPRINTS DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED AT THE TIME OF APPLICATION FOR A BUILDING PERMIT.
- ALL BUILDING STRUCTURES SHALL CONFORM TO THE TOWNSHIP OF VERONA BULK ZONING REQUIREMENT FOR APPLICABLE ZONE.
- ALL PROPOSED BLOCK & LOT NUMBERS SHALL BE REVIEWED AND APPROVED BY THE TOWNSHIP TAX ASSESSOR.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT FOR THE BUILDING SHALL BE ROOF MOUNTED AND SHIELDED FROM PUBLIC VIEW WITH EXCEPTION OF METERING.
- ALL PROPOSED SHEET FLOW LAWN GRADING SHALL BE 2% MINIMUM. EMBANKMENT AND LAWN GRADING SHALL NOT EXCEED 3 FT. HORIZONTAL FOR EVERY 1 FT VERTICAL.
- ALL STORM WATER MANAGEMENT FACILITIES (BASINS, STRUCTURES, INLETS, PIPING, ETC.) LOCATED OUTSIDE OF THE PUBLIC RIGHT OF WAY SHALL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION OR PROPERTY MANAGER UNLESS OTHERWISE NOTED.
- TRASH WITHIN BUILDING A SHALL BE COMPACTED AND STORED WITHIN EXISTING BUILDING IN DEDICATED COMPACTOR ROOM. COLLECTED TRASH SHALL BE PLACED IN INDIVIDUAL CONTAINERS AND WHEELED TO CURB FOR PICK-UP BY WASTE HAULER DURING NORMAL MUNICIPAL COLLECTION SCHEDULE OR BY PRIVATE HAULER.
- TRASH FOR BUILDING B & C SHALL BE DISPOSED OF WITHIN DUMPSTER CONTAINERS AT THE DESIGNATED TRASH ENCLOSURE. COLLECTED TRASH SHALL BE PICKED UP BY PRIVATE HAULER ON NORMAL OPERATION SCHEDULE.
- A KNOX BOX SHALL BE INSTALLED NEAR MAIN ENTRANCE TO ALLOW IMMEDIATE ACCESS TO THE BUILDING BY EMERGENCY RESPONSE PERSONNEL.
- NO PLANTING, BERM, SIGN, FENCE OR OTHER STRUCTURE EXCEEDING 30 INCHES IN HEIGHT SHALL BE LOCATED IN THE SIGHT TRIANGLE.
- SHOP DRAWINGS FOR ALL STORMWATER MANAGEMENT AND DRAINAGE STRUCTURES SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR REVIEW AND APPROVAL, PRIOR TO FABRICATION.



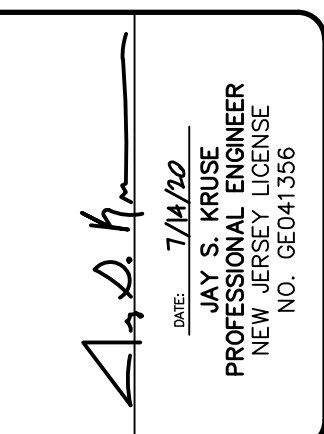
USGS MAP
SCALE: 1"=1000'



ROADWAY MAP
SCALE: 1"=500'



AERIAL MAP
SCALE: 1"=500'



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REV	DATE	DESCRIPTION

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GENERAL NOTES

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
DEPOT AND PINE STREET REDEVELOPMENT
BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE: JULY 14, 2020	SCALE: AS SHOWN
DESIGN: []	DRAWN: []
JOB NO.: 20024	FILE NAME: 20024-02-NOTES
REF. NO.: SD02.01	
SHEET NO.: 2	OF 14

MATCH LINE

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THIS MAP AND LAND SURVEY HAS BEEN MADE UNDER MY SUPERVISION, AND MEETS THE MINIMUM SURVEY DETAIL REQUIREMENTS OF THE STATE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND COMPLIES WITH THE PROVISIONS OF THE "MAP FLING LAW".

DATE: 7/14/2020
PAUL B. HIGGINS
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO. 34004

I HAVE CAREFULLY EXAMINED THIS MAP AND TO THE BEST OF MY KNOWLEDGE AND BELIEF FIND IT CONFORMS WITH THE PROVISIONS OF "THE MAP FLING LAW," RESOLUTION OF APPROVAL AND APPLICABLE MUNICIPAL ORDINANCES AND REQUIREMENTS.

MUNICIPAL ENGINEER _____ DATE _____

OWNER CERTIFICATION OF CONCURRENCE
I CERTIFY THAT I AM THE OWNER OF RECORD OF THE SITE HEREIN DEPICTED AND THAT I CONCUR WITH THE PLAN.

SIGNATURE _____ DATE _____
ADDRESS _____ DATE _____
PHONE NUMBER _____ DATE _____

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY AT REGULAR MEETING OF _____ DATE _____

BOROUGH CLERK _____ DATE _____
CHAIRMAN _____ DATE _____
SECRETARY _____ DATE _____
TOWNSHIP ENGINEER _____ DATE _____

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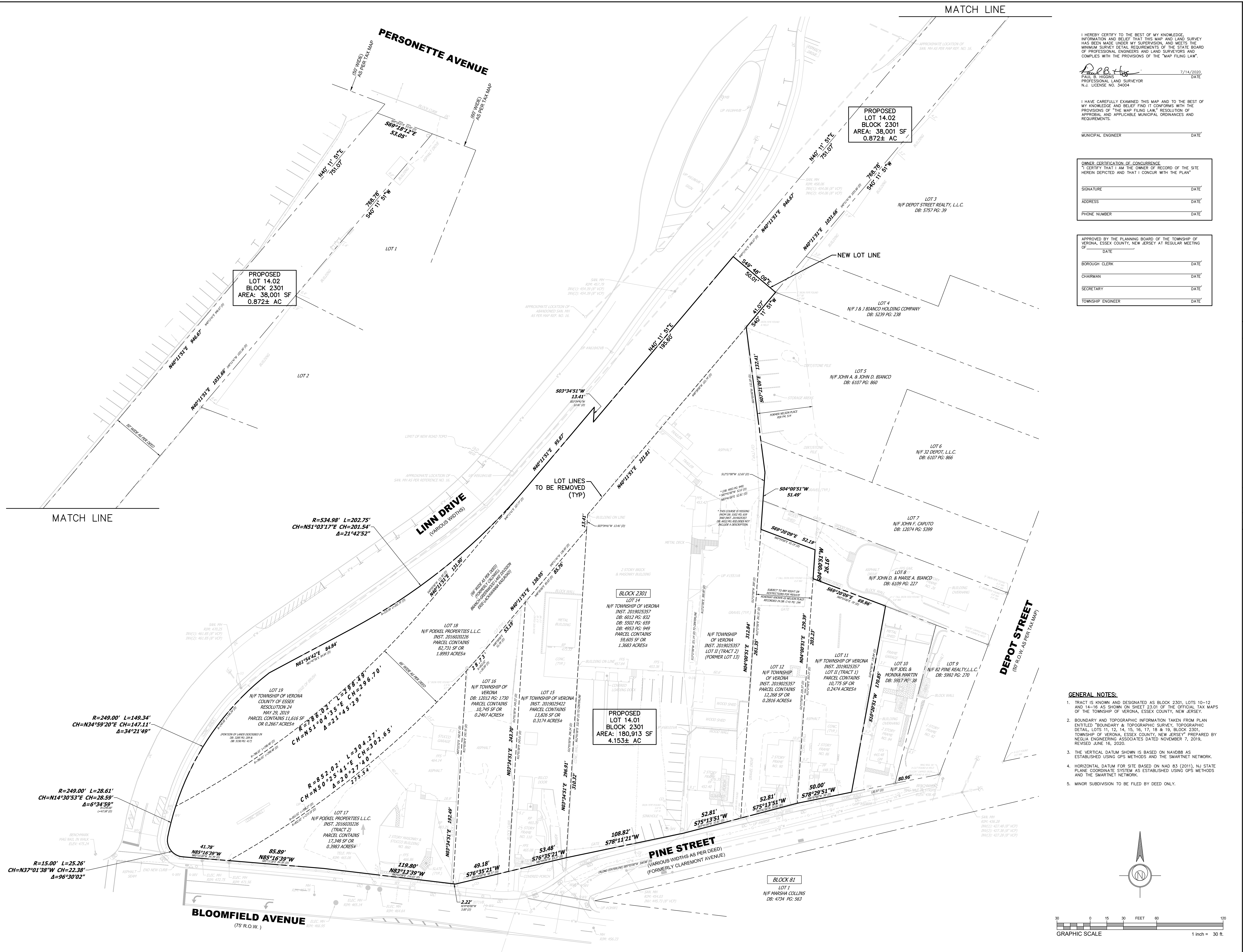
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Table with columns: REV, DATE, DESCRIPTION

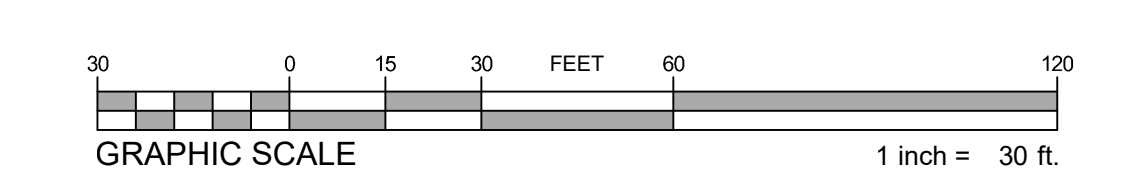
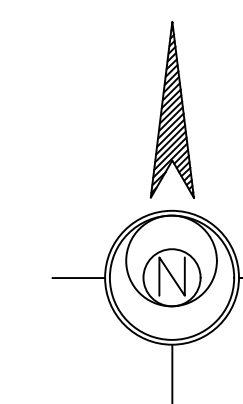
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MINOR SUBDIVISION PLAN
MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
DEPOT AND PINE STREET REDEVELOPMENT
BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP 42.3.01,
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

Table with columns: DATE, SCALE, DESIGN, DRAWN, JOB NO., FILE NAME, REF. NO., SHEET NO.



- GENERAL NOTES:**
- TRACT IS KNOWN AND DESIGNATED AS BLOCK 2301, LOTS 10-12 AND 14-16 AS SHOWN ON SHEET 23.01 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY.
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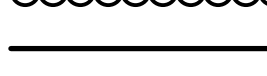
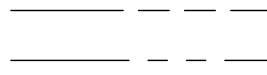
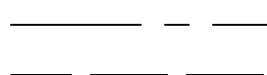

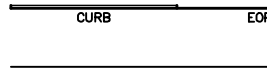

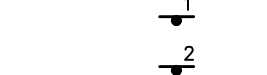








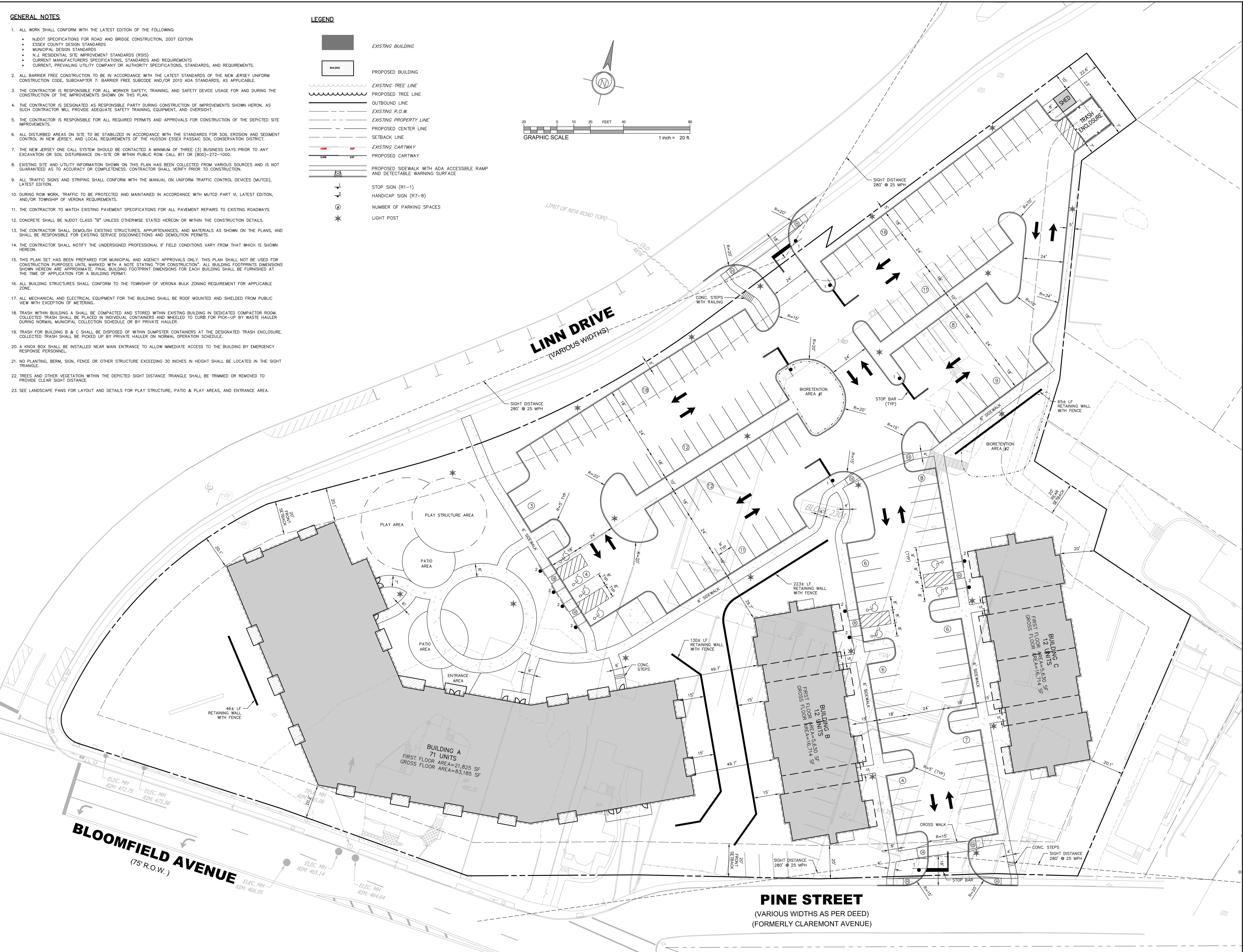
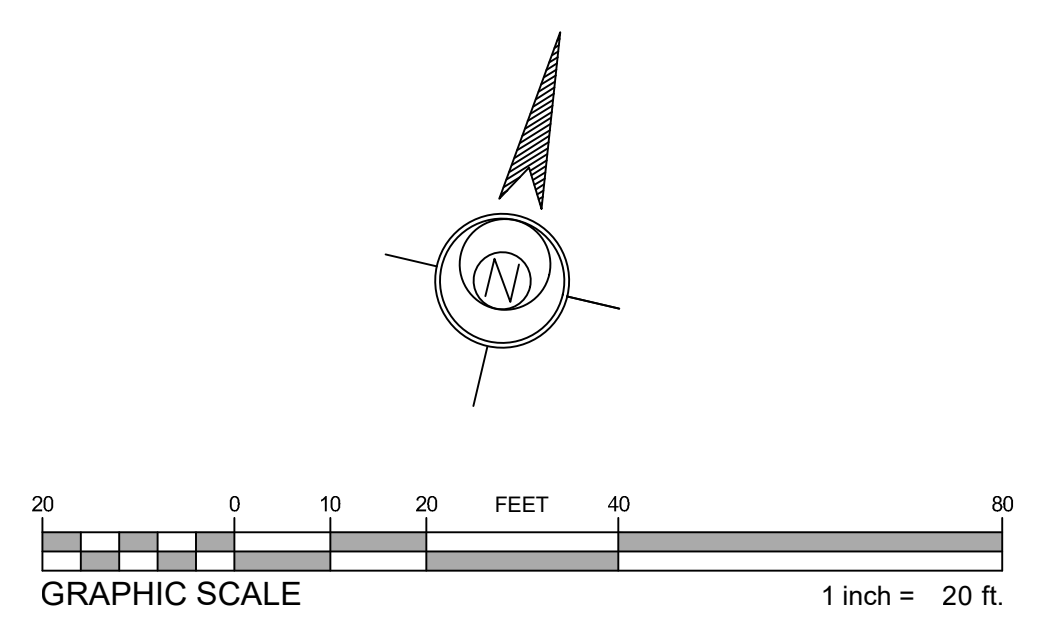
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GENERAL NOTES

- ALL WORK SHALL CONFORM WITH THE LATEST EDITION OF THE FOLLOWING:
 - NJDOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 EDITION
 - ESSEX COUNTY DESIGN STANDARDS
 - MUNICIPAL DESIGN STANDARDS
 - N.J. RESIDENTIAL SITE IMPROVEMENT STANDARDS (RSIS)
 - CURRENT MANUFACTURERS SPECIFICATIONS, STANDARDS AND REQUIREMENTS
 - CURRENT, PREVAILING UTILITY COMPANY OR AUTHORITY SPECIFICATIONS, STANDARDS, AND REQUIREMENTS.
- ALL BARRIER FREE CONSTRUCTION TO BE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE NEW JERSEY UNIFORM CONSTRUCTION CODE, SUBCHAPTER 7: BARRIER FREE SUBCODE AND/OR 2010 ADA STANDARDS, AS APPLICABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL WORKER SAFETY, TRAINING, AND SAFETY DEVICE USAGE FOR AND DURING THE CONSTRUCTION OF THE IMPROVEMENTS SHOWN ON THIS PLAN.
- THE CONTRACTOR IS DESIGNATED AS RESPONSIBLE PARTY DURING CONSTRUCTION OF IMPROVEMENTS SHOWN HEREON. AS SUCH CONTRACTOR WILL PROVIDE ADEQUATE SAFETY TRAINING, EQUIPMENT, AND OVERSIGHT.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL REQUIRED PERMITS AND APPROVALS FOR CONSTRUCTION OF THE DEPICTED SITE IMPROVEMENTS.
- ALL DISTURBED AREAS ON SITE TO BE STABILIZED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, AND LOCAL REQUIREMENTS OF THE HUDSON ESSEX PASSAIC SOIL CONSERVATION DISTRICT.
- THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION OR SOIL DISTURBANCE ON-SITE OR WITHIN PUBLIC ROW. CALL 811 OR (800)-272-1000.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION.
- ALL TRAFFIC SIGNS AND STRIPING SHALL CONFORM WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- DURING ROW WORK, TRAFFIC TO BE PROTECTED AND MAINTAINED IN ACCORDANCE WITH MUTCD PART VI, LATEST EDITION, AND/OR TOWNSHIP OF VERONA REQUIREMENTS.
- THE CONTRACTOR TO MATCH EXISTING PAVEMENT SPECIFICATIONS FOR ALL PAVEMENT REPAIRS TO EXISTING ROADWAYS.
- CONCRETE SHALL BE NJDOT CLASS "B" UNLESS OTHERWISE STATED HEREON OR WITHIN THE CONSTRUCTION DETAILS.
- THE CONTRACTOR SHALL DEMOLISH EXISTING STRUCTURES, APPURTENANCES, AND MATERIALS AS SHOWN ON THE PLANS, AND SHALL BE RESPONSIBLE FOR EXISTING SERVICE DISCONNECTIONS AND DEMOLITION PERMITS.
- THE CONTRACTOR SHALL NOTIFY THE UNDERSIGNED PROFESSIONAL IF FIELD CONDITIONS VARY FROM THAT WHICH IS SHOWN HEREON.
- THIS PLAN SET HAS BEEN PREPARED FOR MUNICIPAL AND AGENCY APPROVALS ONLY. THIS PLAN SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL MARKED WITH A NOTE STATING "FOR CONSTRUCTION". ALL BUILDING FOOTPRINTS DIMENSIONS SHOWN HEREON ARE APPROXIMATE. FINAL BUILDING FOOTPRINT DIMENSIONS FOR EACH BUILDING SHALL BE FURNISHED AT THE TIME OF APPLICATION FOR A BUILDING PERMIT.
- ALL BUILDING STRUCTURES SHALL CONFORM TO THE TOWNSHIP OF VERONA BULK ZONING REQUIREMENT FOR APPLICABLE ZONE.
- ALL MECHANICAL AND ELECTRICAL EQUIPMENT FOR THE BUILDING SHALL BE ROOF MOUNTED AND SHIELDED FROM PUBLIC VIEW WITH EXCEPTION OF METERING.
- TRASH WITHIN BUILDING A SHALL BE COMPACTED AND STORED WITHIN EXISTING BUILDING IN DEDICATED COMPACTOR ROOM. COLLECTED TRASH SHALL BE PLACED IN INDIVIDUAL CONTAINERS AND WHEELED TO CURB FOR PICK-UP BY WASTE HAULER DURING NORMAL MUNICIPAL COLLECTION SCHEDULE OR BY PRIVATE HAULER.
- TRASH FOR BUILDING B & C SHALL BE DISPOSED OF WITHIN DUMPSTER CONTAINERS AT THE DESIGNATED TRASH ENCLOSURE. COLLECTED TRASH SHALL BE PICKED UP BY PRIVATE HAULER ON NORMAL OPERATION SCHEDULE.
- A KNOX BOX SHALL BE INSTALLED NEAR MAIN ENTRANCE TO ALLOW IMMEDIATE ACCESS TO THE BUILDING BY EMERGENCY RESPONSE PERSONNEL.
- NO PLANTING, BERM, SIGN, FENCE OR OTHER STRUCTURE EXCEEDING 30 INCHES IN HEIGHT SHALL BE LOCATED IN THE SIGHT TRIANGLE.
- TREES AND OTHER VEGETATION WITHIN THE DEPICTED SIGHT DISTANCE TRIANGLE SHALL BE TRIMMED OR REMOVED TO PROVIDE CLEAR SIGHT DISTANCE.
- SEE LANDSCAPE PANS FOR LAYOUT AND DETAILS FOR PLAY STRUCTURE, PATIO & PLAY AREAS, AND ENTRANCE AREA.

LEGEND

-  EXISTING BUILDING
-  PROPOSED BUILDING
-  EXISTING TREE LINE
-  PROPOSED TREE LINE
-  OUTBOUND LINE
-  EXISTING R.O.W.
-  EXISTING PROPERTY LINE
-  PROPOSED CENTER LINE
-  SETBACK LINE
-  EXISTING CARTWAY
-  PROPOSED CARTWAY
-  PROPOSED SIDEWALK WITH ADA ACCESSIBLE RAMP AND DETECTABLE WARNING SURFACE
-  STOP SIGN (R1-1)
-  HANDICAP SIGN (R7-B)
-  NUMBER OF PARKING SPACES
-  LIGHT POST



DATE: 7/14/20
 PREPARED BY: JAY S. KRUSE
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE NO. 26041356

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REV.	DATE	DESCRIPTION

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SITE LAYOUT AND DIMENSION PLAN
 MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
DEPOT AND PINE STREET REDEVELOPMENT
 BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE: JULY 14, 2020	SCALE: 1" = 20'
DESIGN: JSK	DRAWN: TJC
JOB NO.: 20024	FILE NAME: 20024-04-SIT
REF. NO.: SD04.01	
SHEET NO.: 5 of 14	

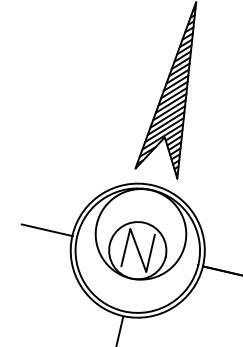
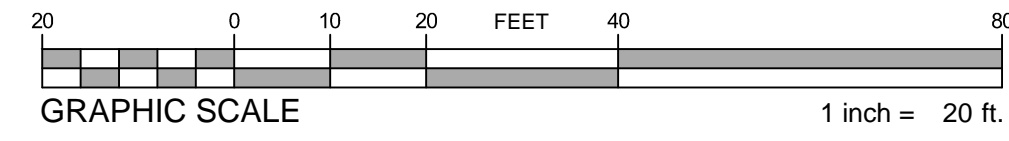
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GRADING PLAN NOTES

- MATERIAL PLACED IN FILL SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SOD, ROOTS, FROZEN SOIL, STONES MORE THAN SIX (6) INCHES, AND OTHER OBJECTIONABLE MATERIAL.
- DRAIN FILL SHALL BE KEPT FROM BEING CONTAMINATED BY ADJACENT SOIL MATERIALS DURING PLACEMENT BY EITHER PLACING IT IN A CLEANLY EXCAVATED TRENCH, OR BY KEEPING THE DRAIN AT LEAST ONE FOOT ABOVE THE ADJACENT EARTH FILL.
- SELECTED DRAIN FILL AND BACKFILL MATERIAL SHALL BE PLACED AROUND STRUCTURES AND PIPE CONDUITS AT ABOUT THE SAME RATE ON ALL SIDES TO PREVENT DAMAGE FROM UNEQUAL LOADING. FILL MATERIAL SHALL BE PLACED AND SPREAD BEGINNING AT THE LOWEST POINT IN THE FOUNDATION, AND THEN BROUGHT UP IN THE CONTINUOUS HORIZONTAL LAYERS THICK ENOUGH THAT THE REQUIRED COMPACTION CAN BE OBTAINED.
- THE DISTRIBUTION AND GRADATION OF MATERIALS SHALL BE SUCH THAT NO LENSES, POCKETS, STREAKS, OR LAYERS OF MATERIAL SHALL DIFFER SUBSTANTIALLY IN TEXTURE OR GRADATION FROM SURROUNDING MATERIAL.
- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL BE ADEQUATE FOR OBTAINING THE DESIRED COMPACTION. MATERIAL THAT IS TOO WET SHALL BE DRIED TO MEET THIS REQUIREMENT, AND MATERIAL THAT IS TOO DRY SHALL BE WETTED AND MIXED UNTIL THE REQUIREMENT IS MET. CONSTRUCTION EQUIPMENT SHALL BE OPERATED OVER EACH LAYER OF FILL TO ENSURE THAT THE REQUIRED LEVEL OF COMPACTION IS OBTAINED.
- FILL ADJACENT TO STRUCTURES, PIPE CONDUITS, OR DRAIN FILL SHALL BE COMPACTED TO A DENSITY EQUIVALENT TO THAT OF THE SURROUNDING FILL BY HAND TAMPING, OR BY USING MANUALLY DIRECTED POWER TAMPERS OR PLATE VIBRATORS. FILL ADJACENT TO CONCRETE STRUCTURES SHALL NOT BE COMPACTED UNTIL THE CONCRETE HAS HAD TIME TO GAIN ENOUGH STRENGTH TO SUPPORT THE LOAD.
- EMBANKMENT & LOT GRADES SHALL NOT EXCEED 3 HORIZONTAL TO 1 VERTICAL.
- PROVIDE A MINIMUM OF 2% SLOPE IN ALL SHEET FLOW LAWN AREAS.
- MINIMUM SLOPE OF 1.5% SHALL BE PROVIDED IN YARD SWALES.
- THE PROPOSED LAWN AREAS WILL BE GRADED WITH LIGHT-WEIGHT CONSTRUCTION EQUIPMENT.
- ANY UNSUITABLE MATERIAL ENCOUNTERED (UNCONTROLLED FILL, ETC.) TO BE COMPLETELY REMOVED FROM WITHIN AND UP TO FIVE (5) FEET BEYOND THE LIMIT OF THE BUILDING FOOTPRINT AND PAVEMENT AREAS AS DIRECTED BY THE GEOTECHNICAL ENGINEER.
- DC = FLUSH CURB TO BE PROVIDED AT ALL ADA ACCESSIBLE RAMP LOCATIONS.

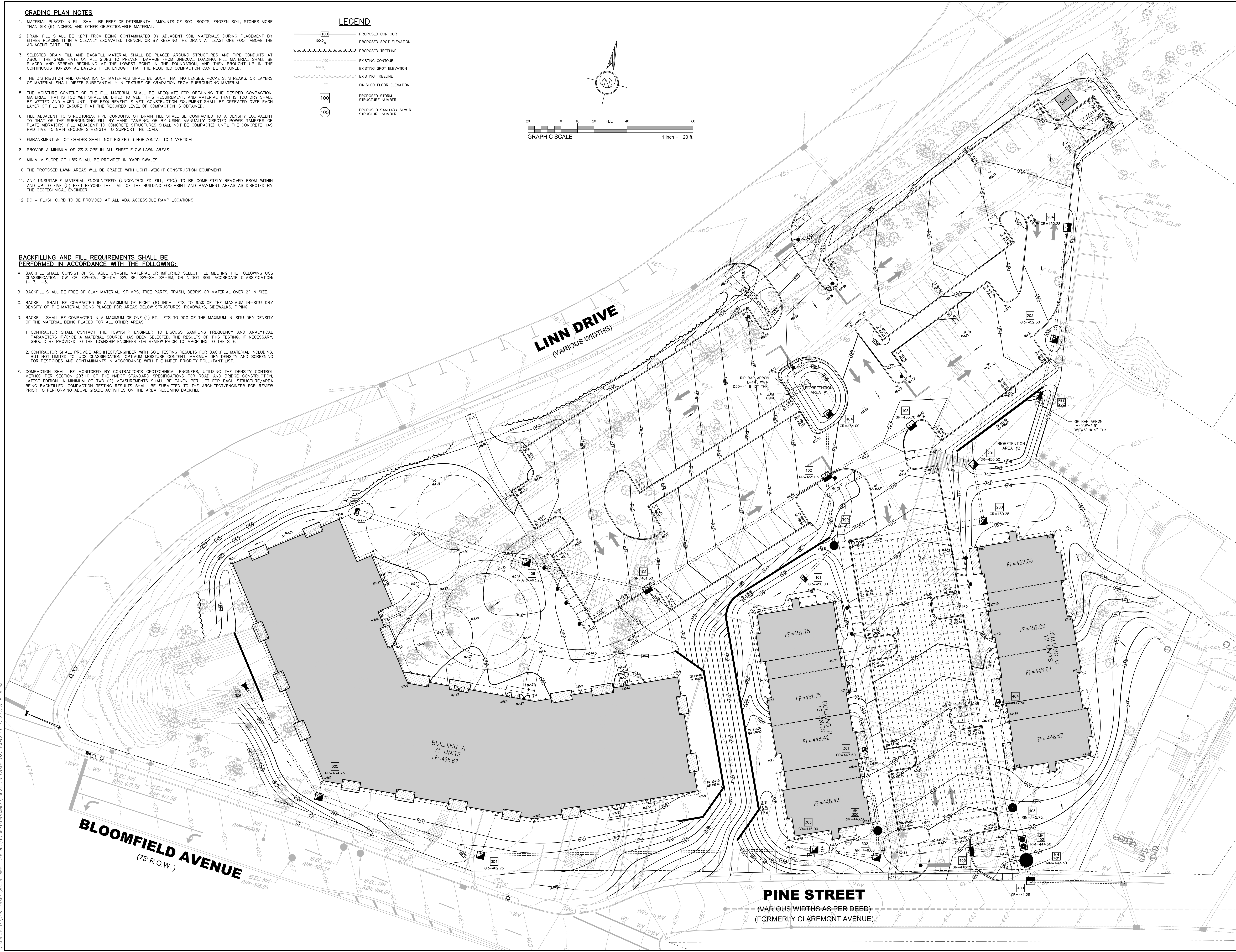
LEGEND

- PROPOSED CONTOUR
- PROPOSED SPOT ELEVATION
- PROPOSED TREELINE
- EXISTING CONTOUR
- EXISTING SPOT ELEVATION
- EXISTING TREELINE
- FINISHED FLOOR ELEVATION
- PROPOSED STORM STRUCTURE NUMBER
- PROPOSED SANITARY SEWER STRUCTURE NUMBER



BACKFILLING AND FILL REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE FOLLOWING:

- BACKFILL SHALL CONSIST OF SUITABLE ON-SITE MATERIAL OR IMPORTED SELECT FILL MEETING THE FOLLOWING UCS CLASSIFICATION: GW, GP, GW-GM, GP-GM, SW, SP, SP-SM, SP-SM, OR NDOT SOIL AGGREGATE CLASSIFICATION: 1-13, 1-5.
 - BACKFILL SHALL BE FREE OF CLAY MATERIAL, STUMPS, TREE PARTS, TRASH, DEBRIS OR MATERIAL OVER 2" IN SIZE.
 - BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF EIGHT (8) INCH LIFTS TO 95% OF THE MAXIMUM IN-SITU DRY DENSITY OF THE MATERIAL BEING PLACED FOR AREAS BELOW STRUCTURES, ROADWAYS, SIDEWALKS, PIPING.
 - BACKFILL SHALL BE COMPACTED IN A MAXIMUM OF ONE (1) FT. LIFTS TO 90% OF THE MAXIMUM IN-SITU DRY DENSITY OF THE MATERIAL BEING PLACED FOR ALL OTHER AREAS.
- CONTRACTOR SHALL CONTACT THE TOWNSHIP ENGINEER TO DISCUSS SAMPLING FREQUENCY AND ANALYTICAL PARAMETERS IF/ONCE A MATERIAL SOURCE HAS BEEN SELECTED. THE RESULTS OF THIS TESTING, IF NECESSARY, SHOULD BE PROVIDED TO THE TOWNSHIP ENGINEER FOR REVIEW PRIOR TO IMPORTING TO THE SITE.
 - CONTRACTOR SHALL PROVIDE ARCHITECT/ENGINEER WITH SOIL TESTING RESULTS FOR BACKFILL MATERIAL INCLUDING, BUT NOT LIMITED TO, UCS CLASSIFICATION, OPTIMUM MOISTURE CONTENT, MAXIMUM DRY DENSITY AND SCREENING FOR PESTICIDES AND CONTAMINANTS IN ACCORDANCE WITH THE NJDEP PRIORITY POLLUTANT LIST.
 - COMPACTION SHALL BE MONITORED BY CONTRACTOR'S GEOTECHNICAL ENGINEER, UTILIZING THE DENSITY CONTROL METHOD PER SECTION 203.10 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION. A MINIMUM OF TWO (2) MEASUREMENTS SHALL BE TAKEN PER LIFT FOR EACH STRUCTURE/AREA BEING BACKFILLED. COMPACTION TESTING RESULTS SHALL BE SUBMITTED TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO PERFORMING ABOVE GRADE ACTIVITIES ON THE AREA RECEIVING BACKFILL.



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 DATE: 1/16/20
 DRAWN BY: JAY S. KRUSE
 PROJECT NO.: 20024-05-GRADE
 NEW JERSEY LICENSE NO.: 06011356

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REV.	DATE	DESCRIPTION

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GRADING PLAN
 MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
 DEPOT AND PINE STREET REDEVELOPMENT
 BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE: JULY 14, 2020	SCALE: 1" = 20'
DESIGN: JSK	DRAWN: TJC
JOB NO.: 20024	FILE NAME: 20024-05-GRADE
REF. NO.: SD05.01	
SHEET NO.: 6	OF 14

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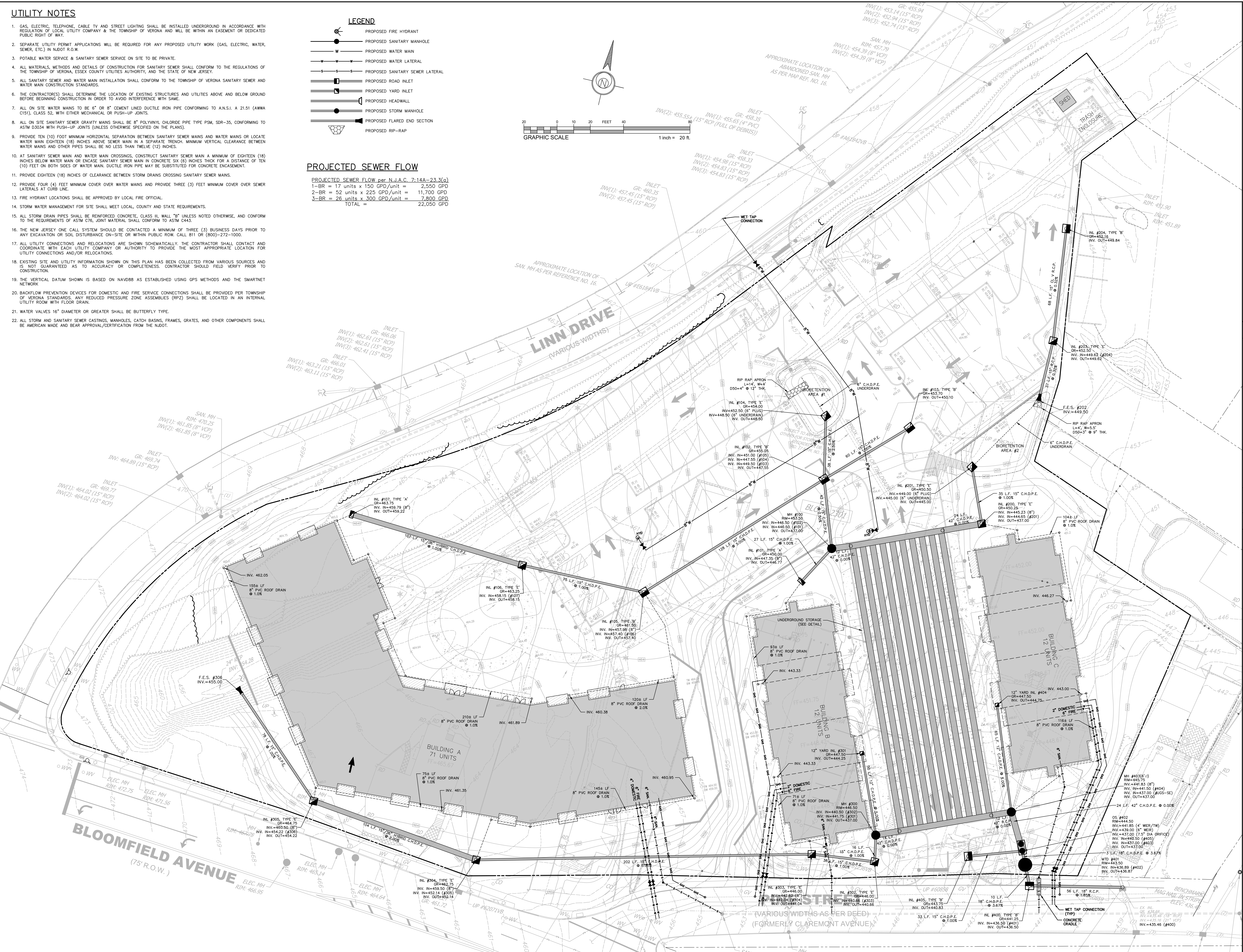
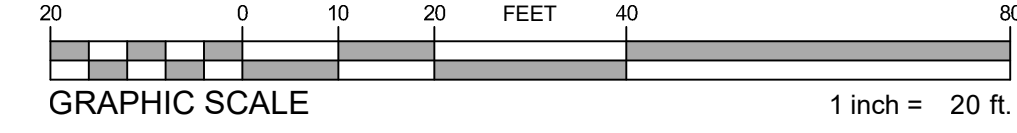
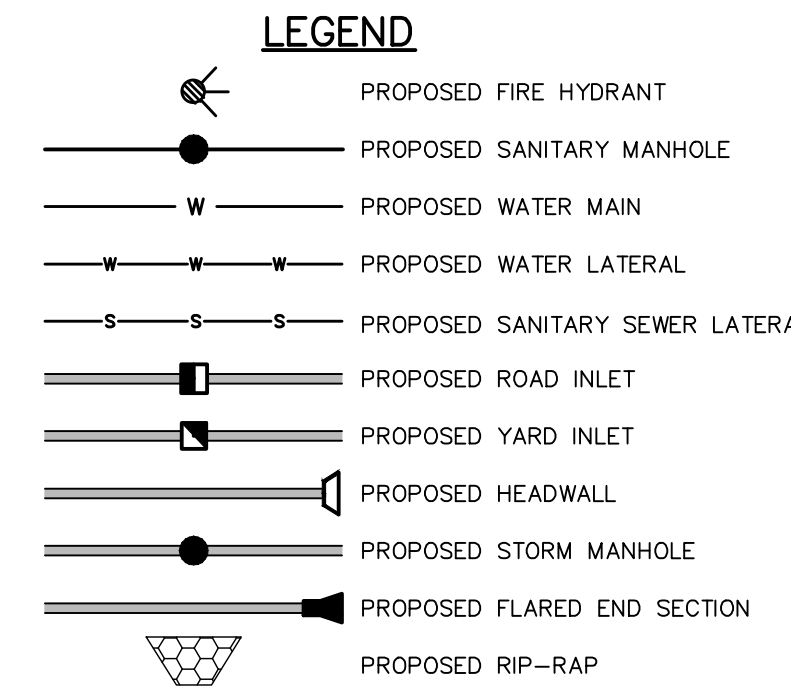
UTILITY NOTES

- GAS, ELECTRIC, TELEPHONE, CABLE TV AND STREET LIGHTING SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH REGULATION OF LOCAL UTILITY COMPANY & THE TOWNSHIP OF VERONA AND WILL BE WITHIN AN EASEMENT OR DEDICATED PUBLIC RIGHT OF WAY.
- SEPARATE UTILITY PERMIT APPLICATIONS WILL BE REQUIRED FOR ANY PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, SEWER, ETC.) IN NJDOT R.O.W.
- POTABLE WATER SERVICE & SANITARY SEWER SERVICE ON SITE TO BE PRIVATE.
- ALL MATERIALS, METHODS AND DETAILS OF CONSTRUCTION FOR SANITARY SEWER SHALL CONFORM TO THE REGULATIONS OF THE TOWNSHIP OF VERONA, ESSEX COUNTY UTILITIES AUTHORITY, AND THE STATE OF NEW JERSEY.
- ALL SANITARY SEWER AND WATER MAIN INSTALLATION SHALL CONFORM TO THE TOWNSHIP OF VERONA SANITARY SEWER AND WATER MAIN CONSTRUCTION STANDARDS.
- THE CONTRACTOR(S) SHALL DETERMINE THE LOCATION OF EXISTING STRUCTURES AND UTILITIES ABOVE AND BELOW GROUND BEFORE BEGINNING CONSTRUCTION IN ORDER TO AVOID INTERFERENCE WITH SAME.
- ALL ON SITE WATER MAINS TO BE 6" OR 8" CEMENT LINED DUCTILE IRON PIPE CONFORMING TO A.N.S.I. A 215.1 (AWWA C151), CLASS 52, WITH EITHER MECHANICAL OR PUSH-UP JOINTS.
- ALL ON SITE SANITARY SEWER GRAVITY MAINS SHALL BE 8" POLYVINYL CHLORIDE PIPE TYPE PSM, SDR-35, CONFORMING TO ASTM D3034 WITH PUSH-UP JOINTS (UNLESS OTHERWISE SPECIFIED ON THE PLANS).
- PROVIDE TEN (10) FOOT MINIMUM HORIZONTAL SEPARATION BETWEEN SANITARY SEWER MAINS AND WATER MAINS OR LOCATE WATER MAIN EIGHTEEN (18) INCHES ABOVE SEWER MAIN IN A SEPARATE TRENCH. MINIMUM VERTICAL CLEARANCE BETWEEN WATER MAINS AND OTHER PIPES SHALL BE NO LESS THAN TWELVE (12) INCHES.
- AT SANITARY SEWER MAIN AND WATER MAIN CROSSINGS, CONSTRUCT SANITARY SEWER MAIN A MINIMUM OF EIGHTEEN (18) INCHES BELOW WATER MAIN OR ENCASE SANITARY SEWER MAIN IN CONCRETE SIX (6) INCHES THICK FOR A DISTANCE OF TEN (10) FEET ON BOTH SIDES OF WATER MAIN. DUCTILE IRON PIPE MAY BE SUBSTITUTED FOR CONCRETE ENCASEMENT.
- PROVIDE EIGHTEEN (18) INCHES OF CLEARANCE BETWEEN STORM DRAINS CROSSING SANITARY SEWER MAINS.
- PROVIDE FOUR (4) FEET MINIMUM COVER OVER WATER MAINS AND PROVIDE THREE (3) FEET MINIMUM COVER OVER SEWER LATERALS AT CURB LINE.
- FIRE HYDRANT LOCATIONS SHALL BE APPROVED BY LOCAL FIRE OFFICIAL.
- STORM WATER MANAGEMENT FOR SITE SHALL MEET LOCAL, COUNTY AND STATE REQUIREMENTS.
- ALL STORM DRAIN PIPES SHALL BE REINFORCED CONCRETE, CLASS III, WALL "B" UNLESS NOTED OTHERWISE, AND CONFORM TO THE REQUIREMENTS OF ASTM C776. JOINT MATERIAL SHALL CONFORM TO ASTM C443.
- THE NEW JERSEY ONE CALL SYSTEM SHOULD BE CONTACTED A MINIMUM OF THREE (3) BUSINESS DAYS PRIOR TO ANY EXCAVATION OR SOIL DISTURBANCE ON-SITE OR WITHIN PUBLIC ROW. CALL 811 OR (800)-272-1000.
- ALL UTILITY CONNECTIONS AND RELOCATIONS ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL CONTACT AND COORDINATE WITH EACH UTILITY COMPANY OR AUTHORITY TO PROVIDE THE MOST APPROPRIATE LOCATION FOR UTILITY CONNECTIONS AND/OR RELOCATIONS.
- EXISTING SITE AND UTILITY INFORMATION SHOWN ON THIS PLAN HAS BEEN COLLECTED FROM VARIOUS SOURCES AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. CONTRACTOR SHOULD FIELD VERIFY PRIOR TO CONSTRUCTION.
- THE VERTICAL DATUM SHOWN IS BASED ON NAVD83 AS ESTABLISHED USING GPS METHODS AND THE SMARTNET NETWORK.
- BACKFLOW PREVENTION DEVICES FOR DOMESTIC AND FIRE SERVICE CONNECTIONS SHALL BE PROVIDED PER TOWNSHIP OF VERONA STANDARDS. ANY REDUCED PRESSURE ZONE ASSEMBLIES (RPZ) SHALL BE LOCATED IN AN INTERNAL UTILITY ROOM WITH FLOOR DRAIN.
- WATER VALVES 16" DIAMETER OR GREATER SHALL BE BUTTERFLY TYPE.
- ALL STORM AND SANITARY SEWER CASTINGS, MANHOLES, CATCH BASINS, FRAMES, GRATES, AND OTHER COMPONENTS SHALL BE AMERICAN MADE AND BEAR APPROVAL/CERTIFICATION FROM THE NJDOT.

PROJECTED SEWER FLOW

PROJECTED SEWER FLOW per N.J.A.C. 7:14A-23.3(a)

1-BR	= 17 units x 150 GPD/unit =	2,550 GPD
2-BR	= 52 units x 225 GPD/unit =	11,700 GPD
3-BR	= 26 units x 300 GPD/unit =	7,800 GPD
TOTAL =		22,050 GPD



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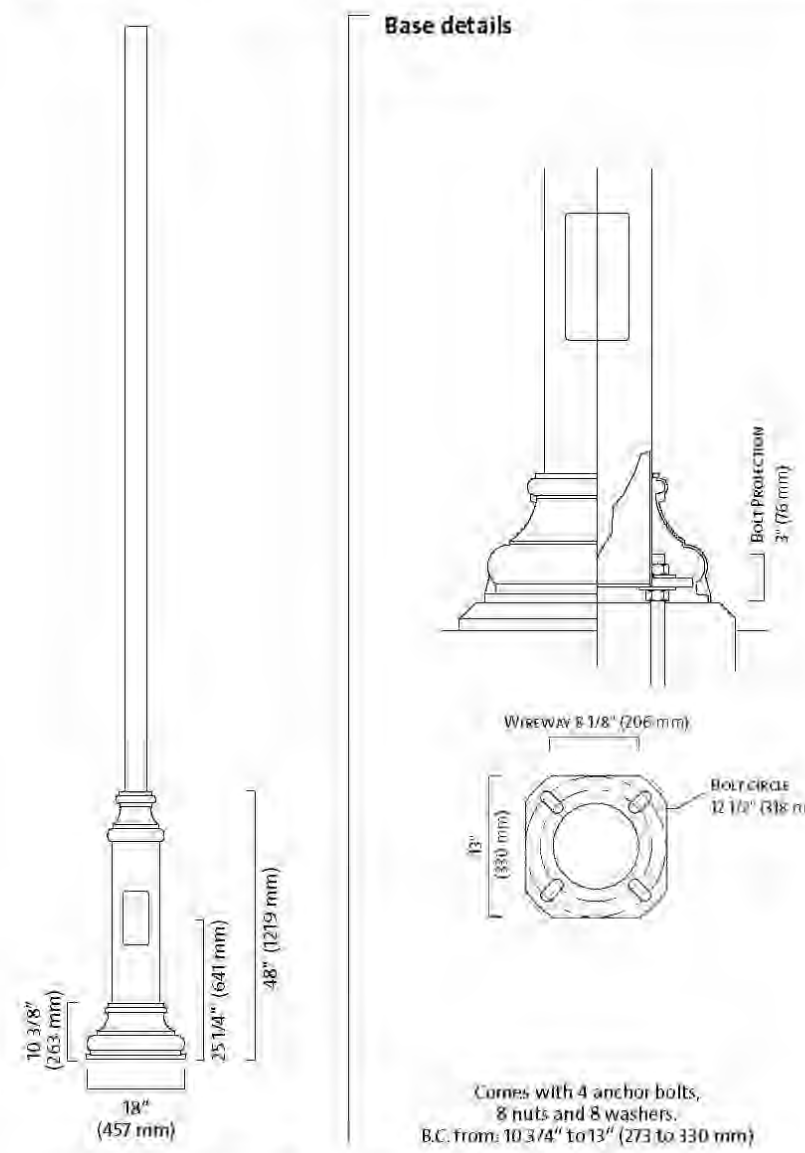
UTILITY PLAN

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
 DEPOT AND PINE STREET REDEVELOPMENT
 BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE:	JULY 14, 2020	SCALE:	1" = 20'
DESIGN:	JKS	DRAWN:	TJC
CHECK:	JKS	FILE NAME:	20024-06-UTL
JOB NO.:	20024	SHEET NO.:	SD06.01
REF. NO.:		TOTAL SHEETS:	7 OF 14

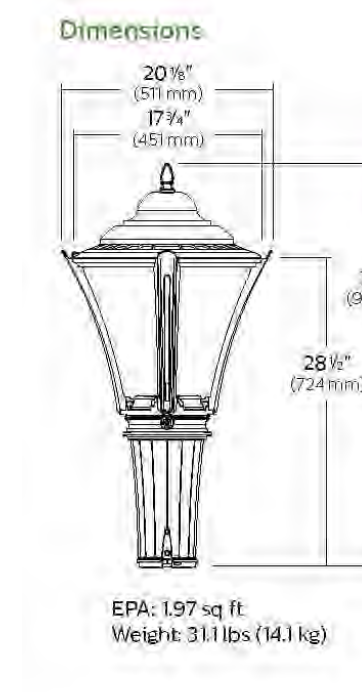
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RA61 > TRADITIONAL ALUMINUM POLE



Specifications:
 Pole: made from one piece, seamless 4" and (802 mm) tube of extruded aluminum, welded over a 5/8" (16 mm) seamless extruded aluminum pole base.
 The assembly is welded to both the top and bottom of a cast aluminum base.
 A 1/2" by 10" (13 mm by 254 mm) maintenance opening is complete with cover and upper gasket piece of cast aluminum mechanically fastened to the junction with stainless steel hardware.
 Base cover decorative base cover made from cast aluminum pieces mechanically assembled together with stainless steel hardware around base of the pole.
 Finish: see page 142 for finish details.
Options:
 DE: Pole base band 5" (128 mm) in the ground (see page 113)
 IS: Provision for loudspeaker outlet (see page 113)
 PWB: Pole-type photoelectric cell (specify operating voltage)
 PQR: Quarter-turn type photoelectric cell (specify operating voltage)
 DR: Duplex receptacle (30V line voltage only)
 CR: CR with common ground fault interrupter (30V line voltage only)
 RA: Rammer arm (see page 113)
 PL: Pole support (see page 133)
 MPL: Mid-pole luminaire

CATALOG NUMBER	NOMINAL HEIGHT	TENON SECTION	WALL THICKNESS	WEIGHT	EPA RATING			ANCHOR BOLTS			
					90 MPH	100 MPH	120 MPH				
RA61-8	8	102	0.226	57	38	17	32.26	6.04	6.67	4.7	3/4-20
RA61-10	10	102	0.226	57	41	19	30	30.59	13.35	11.2	3/4-20
RA61-12	12	102	0.226	57	44	21	22.3	14.79	12.39	7.92	3/4-20
RA61-14	14	102	0.226	57	47	23	9.35	5.79	4.71	2.92	3/4-20
RA61-16	16	102	0.226	57	50	25	16.94	11.72	9.24	5.84	3/4-20
RA61-18	18	102	0.226	57	53	27	7.95	4.92	3.91	2.91	3/4-20
RA61-20	20	102	0.226	57	56	29	15.01	9.75	8.05	5.05	3/4-20
RA61-22	22	102	0.226	57	59	31	6.98	4.71	3.3	1.96	3/4-20
RA61-24	24	102	0.226	57	62	33	13.77	8.58	7.02	4.88	3/4-20
RA61-26	26	102	0.226	57	65	35	6.08	4.5	3.77	1.92	3/4-20
RA61-28	28	102	0.226	57	68	37	11.96	7.54	6.24	3.77	3/4-20
RA61-30	30	102	0.226	57	71	39	4.94	2.21	1.92	1.12	3/4-20
RA61-32	32	102	0.226	57	74	41	10.77	6.68	5.38	3.27	3/4-20
RA61-34	34	102	0.226	57	77	43	5.16	2.69	2.95	1.93	3/4-20
RA61-36	36	102	0.226	57	80	45	4.02	1.95	1.71	1.11	3/4-20
RA61-38	38	102	0.226	57	83	47	12.71	7.38	6.17	3.71	3/4-20
RA61-40	40	102	0.226	57	86	49	6.7	3.71	2.8	1.53	3/4-20
RA61-42	42	102	0.226	57	89	51	9.95	5.9	4.62	2.74	3/4-20



LED Waights and Lumen Values for 3000K & 4000K fixtures

Fixture	Total Lumens	Area (sq ft)	Footcandle
MPTR-4000K	32,350	37	875
MPTR-3000K	32,350	37	875
MPTR-4000K	32,350	37	875
MPTR-3000K	32,350	37	875

MPTR MetroScape LED post top
Urban

Luminaire Schedule

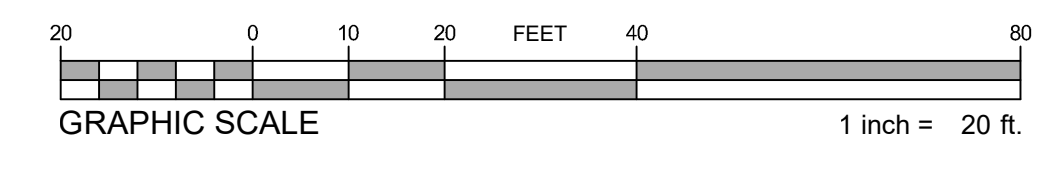
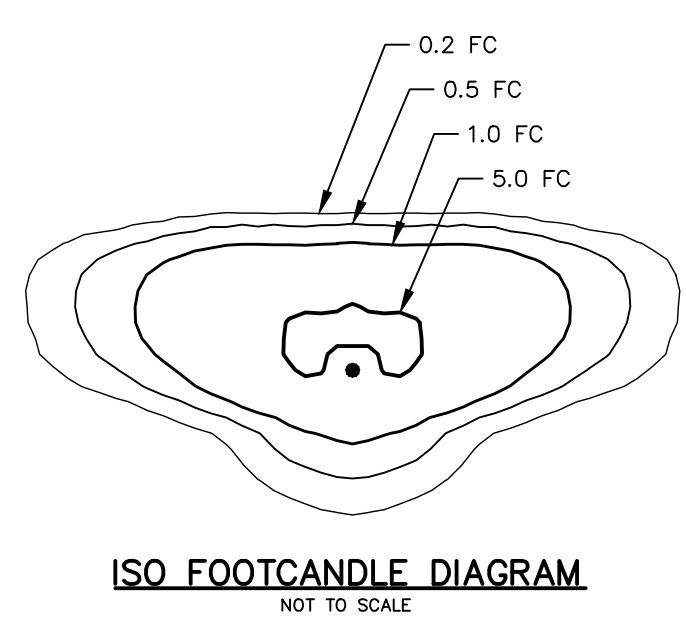
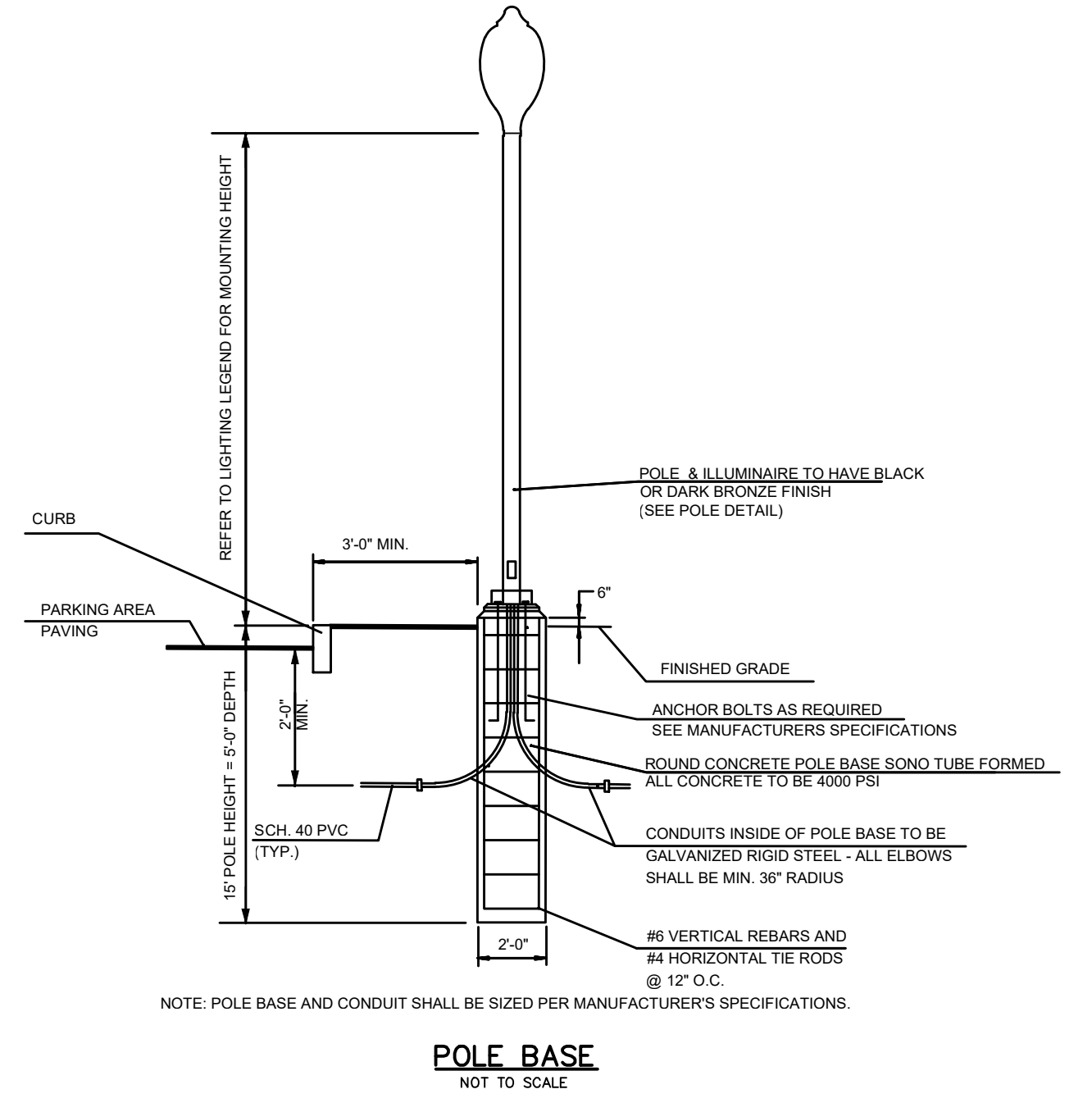
Symbol	Quantity	Location	Manufacturer	Lamp Type	Mounting Ht.	Catalog Number
△	14	Parking Lot	Philips Lumec	LED (Type 3W)	15 ft	MPTR-70W64LED4K-G2-LE3W
△	8	Parking Lot	Philips Lumec	LED (Type 5)	15 ft	MPTR-70W64LED4K-G2-LE5

Calculation Summary

Description	Calculation Type	Units	Min. Provided	Avg. Proposed
Parking Lot	Illuminance	Fc	0.2	1.5

NOTES

- SEE ARCHITECTURAL PLANS PREPARED BY WALLACE ROBERTS & TODD ARCHITECT FOR BUILDING MOUNTED LIGHTING AT ENTRANCE WAYS AND DOOR LOCATIONS. ILLUMINATION FOR BUILDING MOUNTED LIGHT NOT SHOWN ON THIS PLAN.
- SEE LANDSCAPE PLANS PREPARED BY MELLILLO-BAUER ASSOCIATES, INC. FOR ACCENT LIGHTING AROUND PATHWAYS, WALKWAYS, ENTRANCE WAYS AND SITE AMENITIES. ILLUMINATION FOR ACCENT LIGHTING NOT SHOWN ON THIS PLAN.
- ILLUMINATION LEVEL (IN FOOT-CANDELS) = +0.5
- LIGHTING FIXTURE, LAMP AND POLE SHOWN ARE FOR GENERAL GUIDANCE ON LIGHTING TYPE AND ILLUMINATION. SUBSTITUTIONS OR EQUALS ARE POSSIBLE AND SHALL PROVIDE THE SAME OR GREATER ILLUMINATION LEVELS AS SHOWN. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO THE TOWNSHIP ENGINEER FOR APPROVAL OF ILLUMINATION LEVELS PRIOR TO ORDERING AND INSTALLATION.



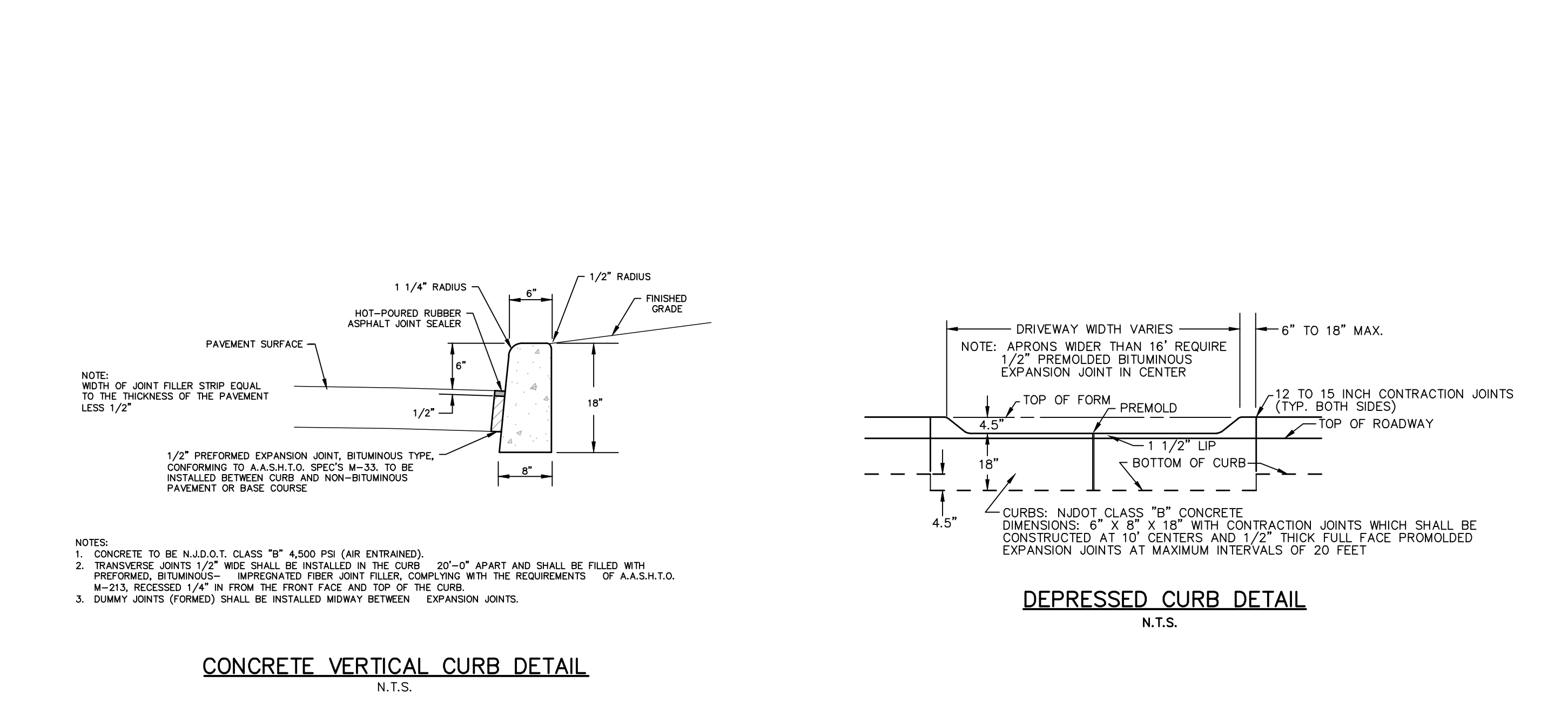
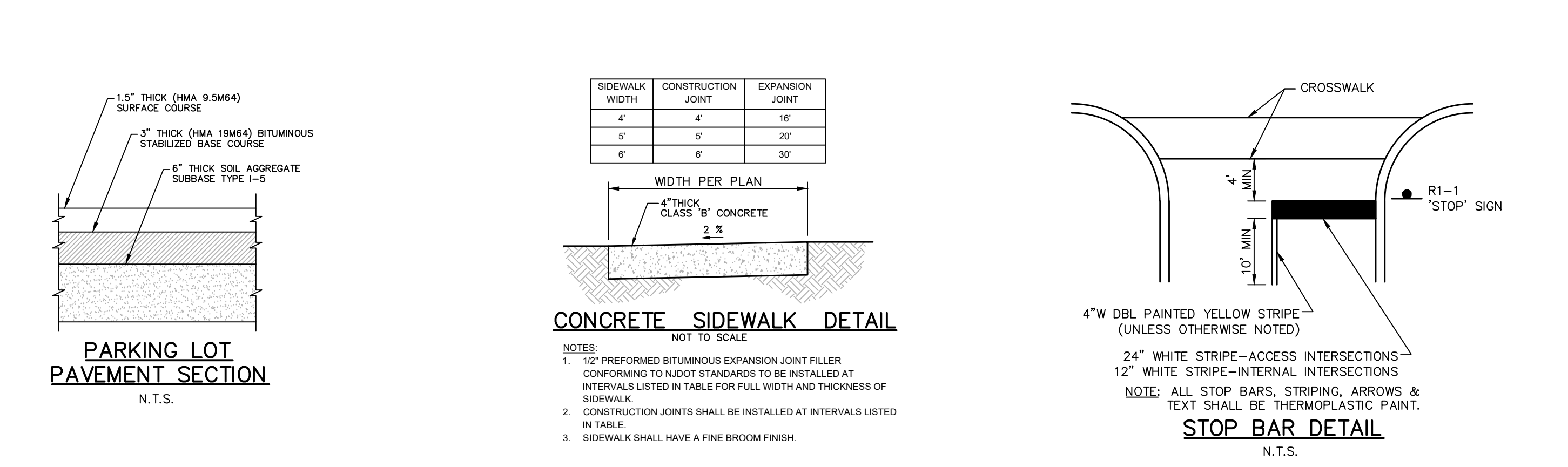
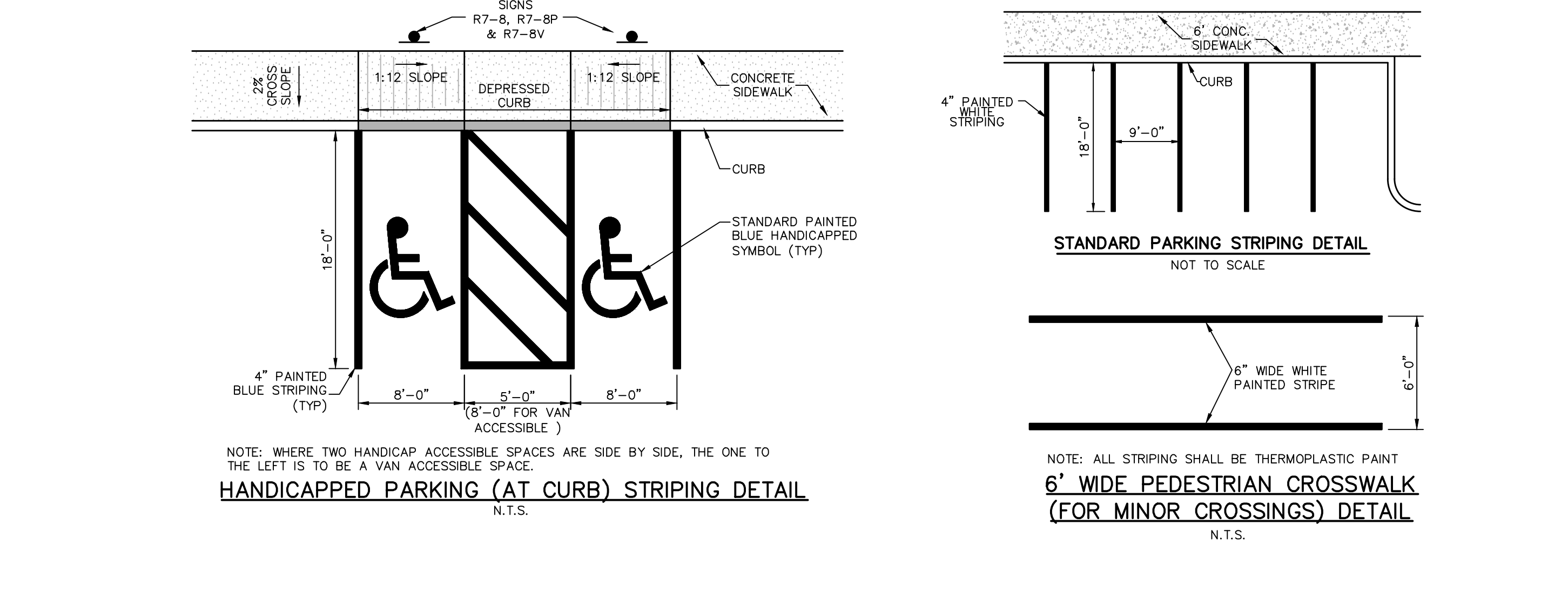
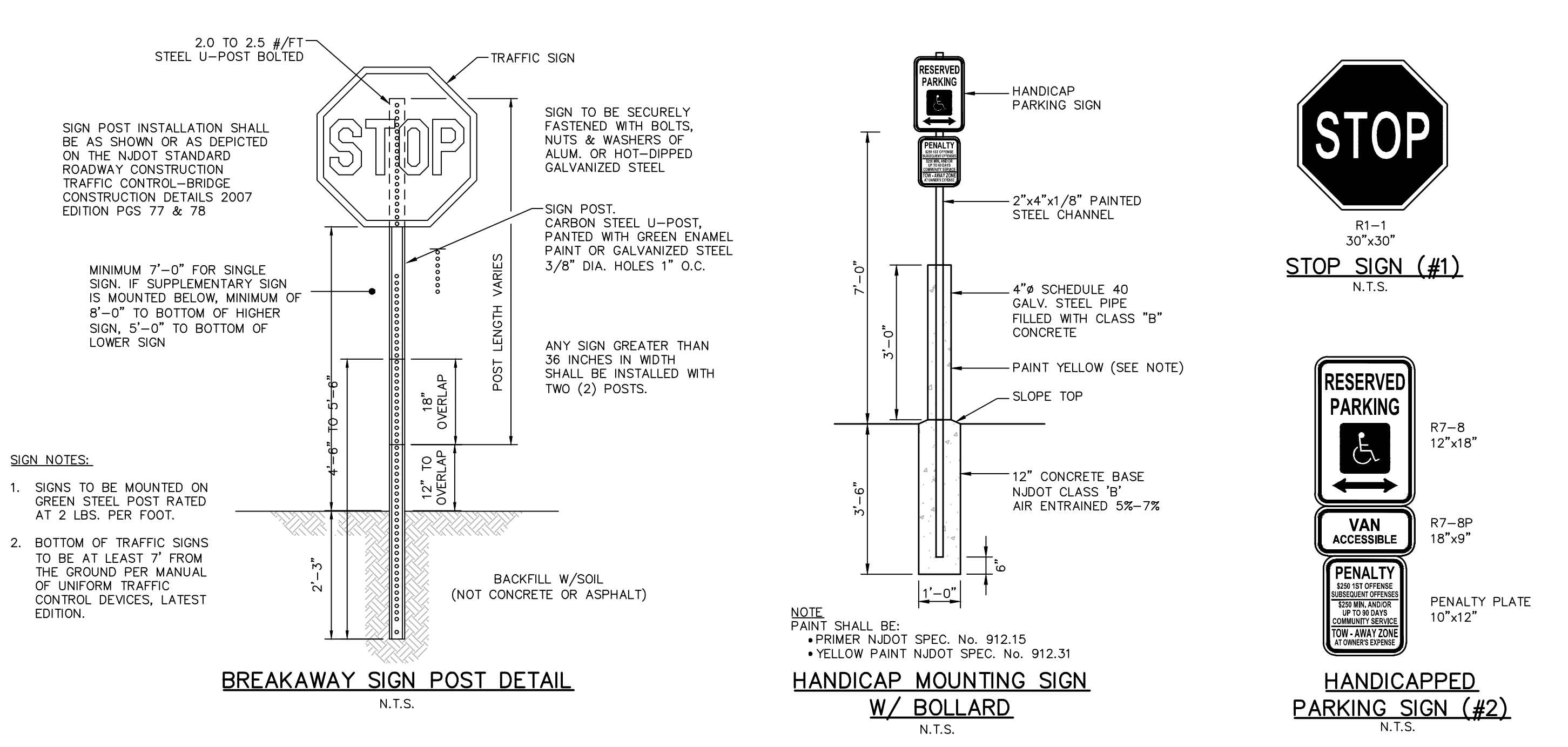
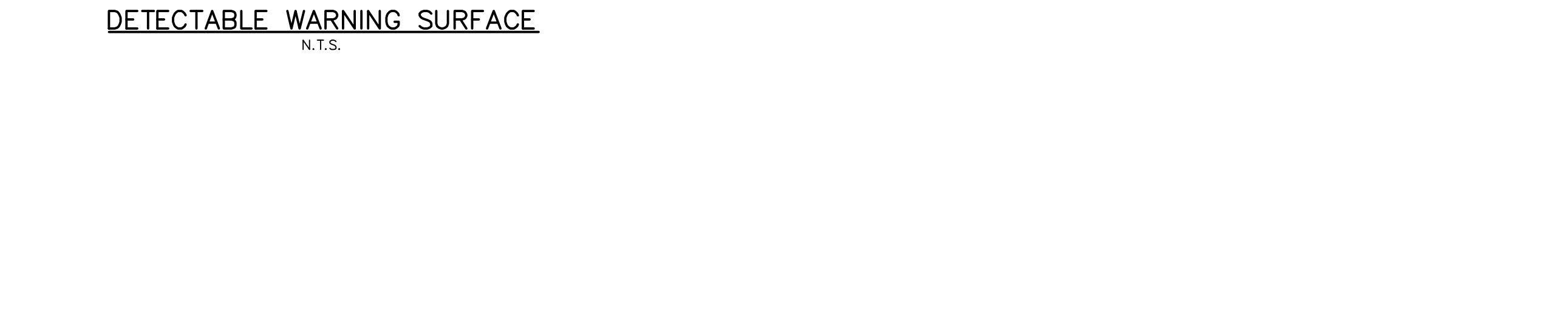
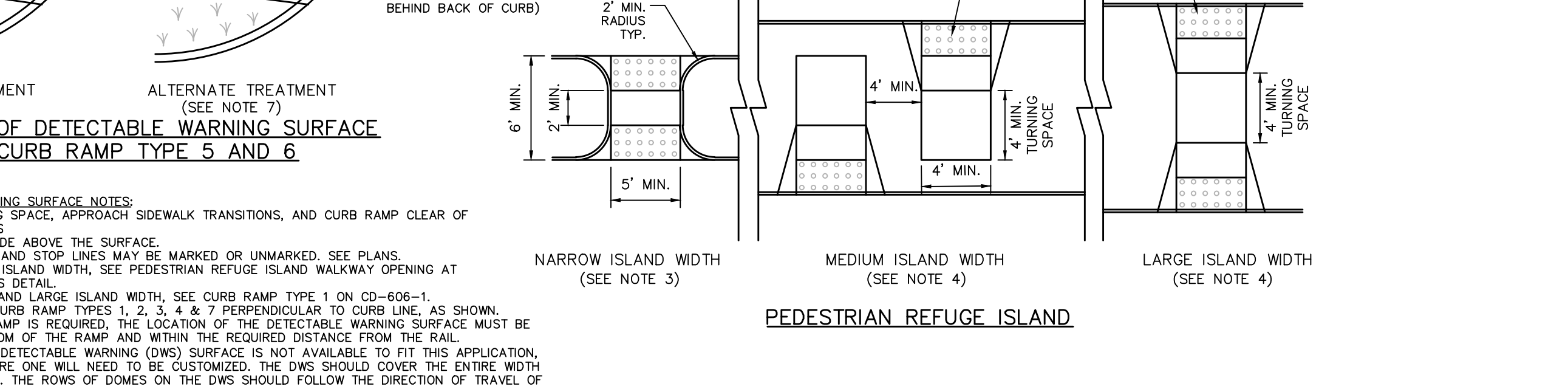
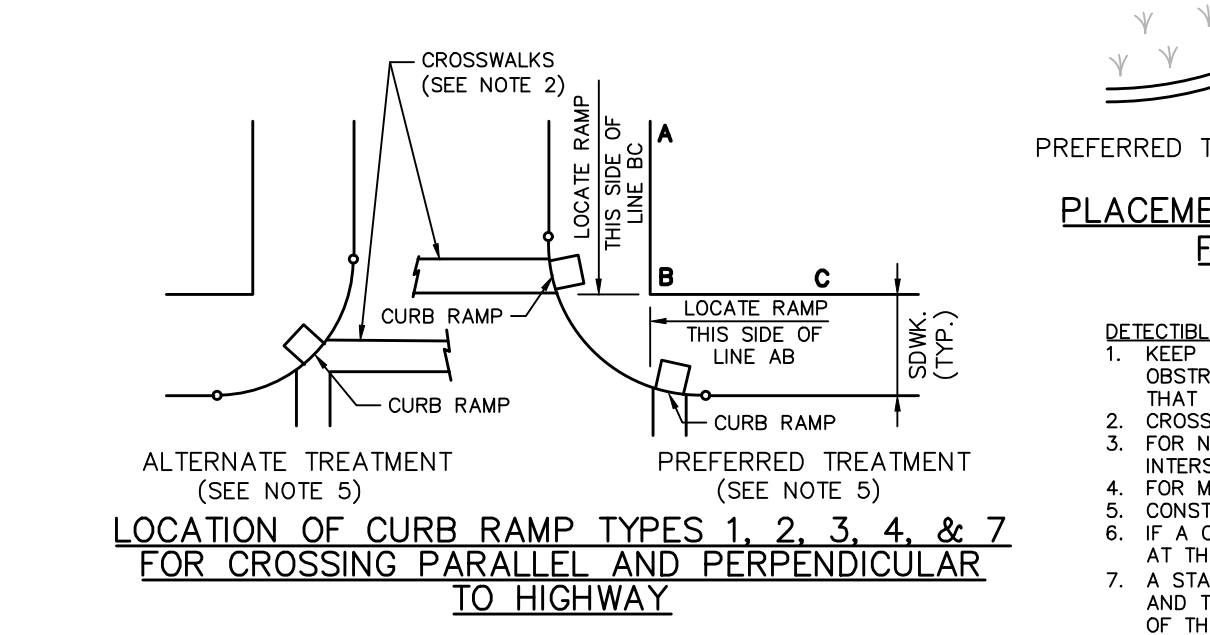
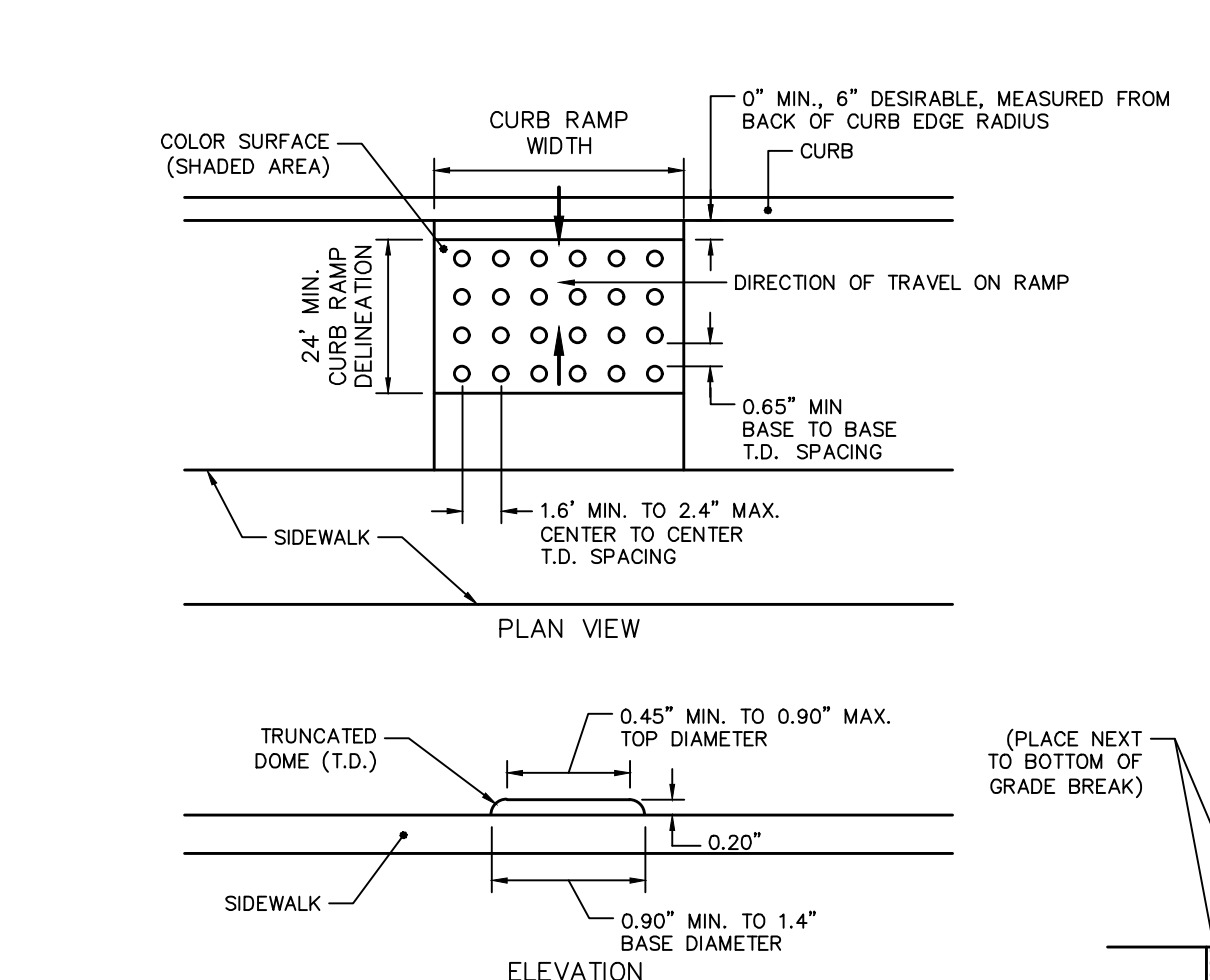
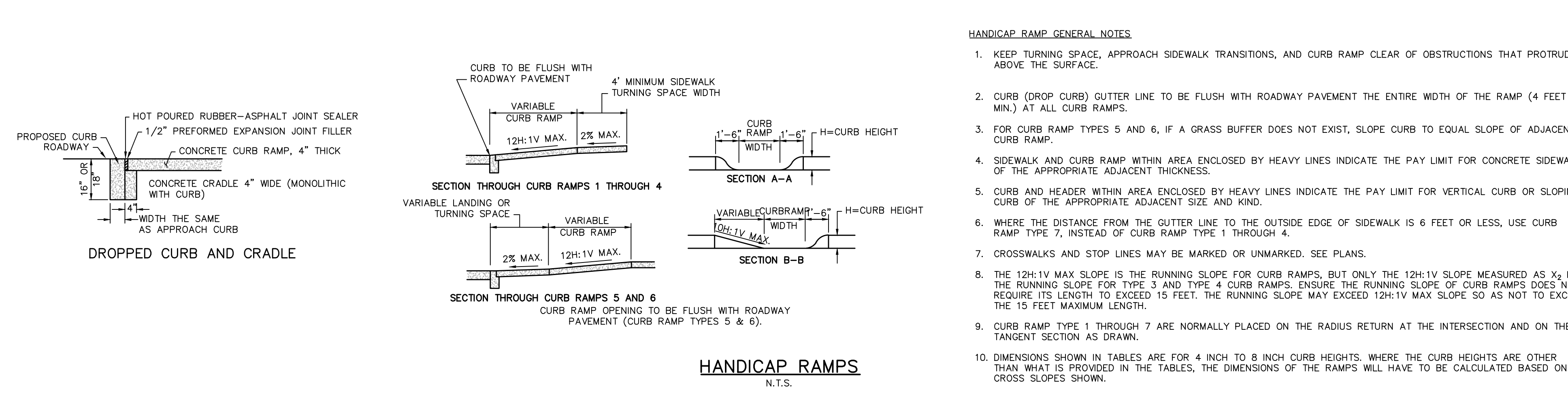
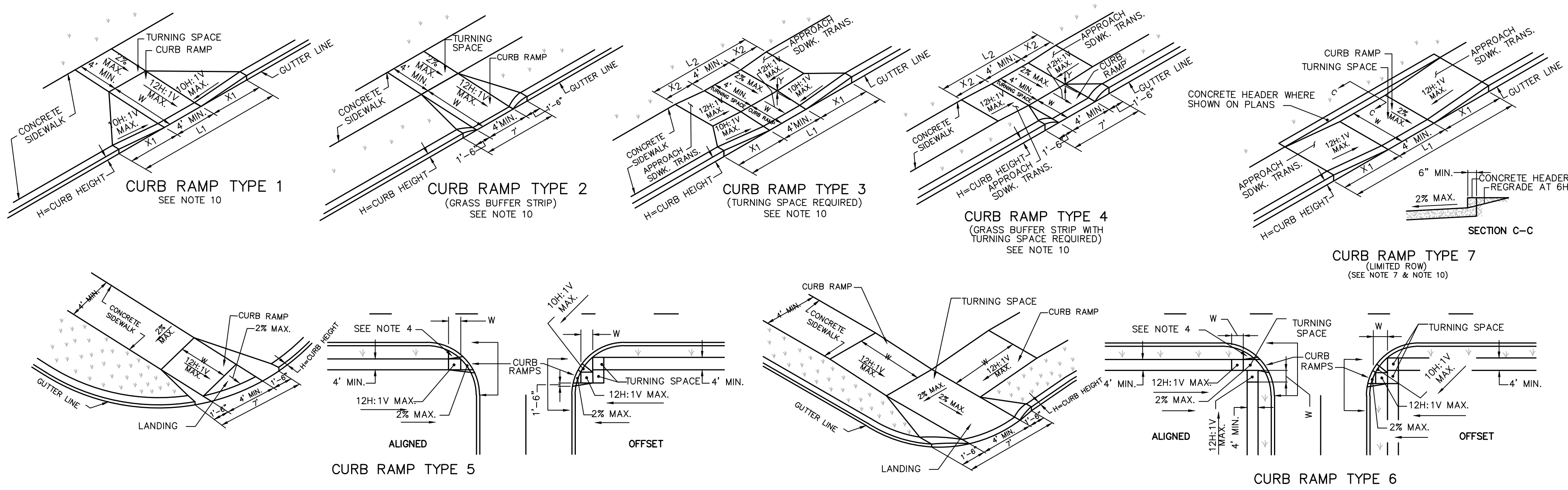
ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

DATE: JULY 14, 2020
 DESIGN: JSK
 DRAWING: TJC
 JOB NO.: 20024
 FILE NAME: 20024-07-LIGHT
 REF. NO.: SD07.01
 SHEET NO.: 8 of 14

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
 DEPOT AND PINE STREET REDEVELOPMENT
 BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

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 1-800-272-1000
 www.nj-1call.org

ESE Consultants, Inc.
 100 Willow Brook Road • Suite 200 • Freehold, NJ 07728
 T: 732-446-8446
 New Jersey Certificate of Authorization No. 24CA2998900



DATE: JULY 14, 2020 SCALE: AS SHOWN
DESIGN: DRAWN:
JOB NO.: 20024 FILE NAME: 20024-09-DET
REF. NO.: SD09.01
SHEET NO.: 10 OF 14

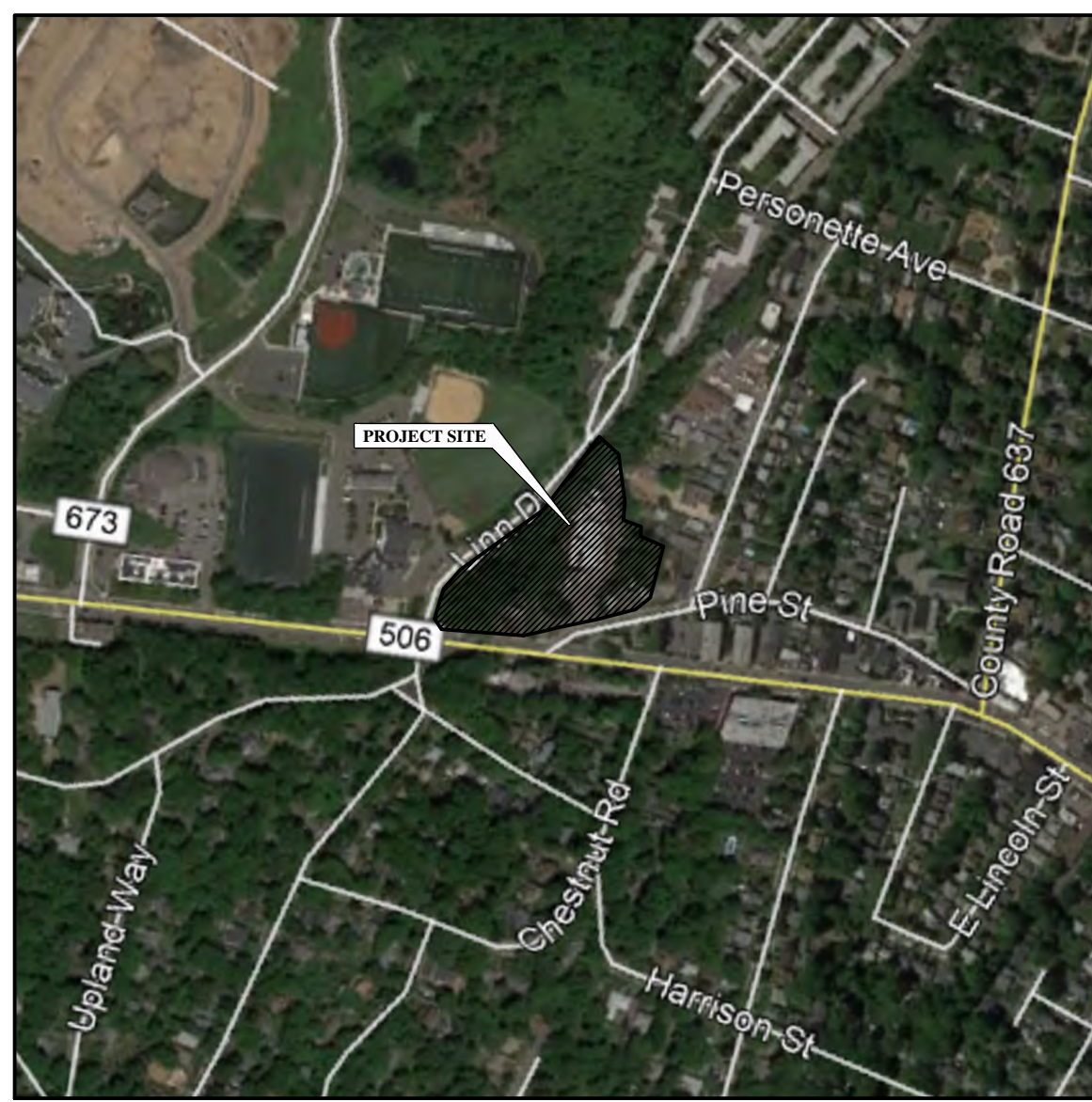
CONSTRUCTION DETAILS

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
DEPOT AND PINE STREET REDEVELOPMENT
BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

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T: 732-446-9446
New Jersey Certificate of Authorization No. 246A27999900

DATE: _____
REV: _____
DESCRIPTION: _____



SITE LOCATION MAP
SCALE: 1"=500'

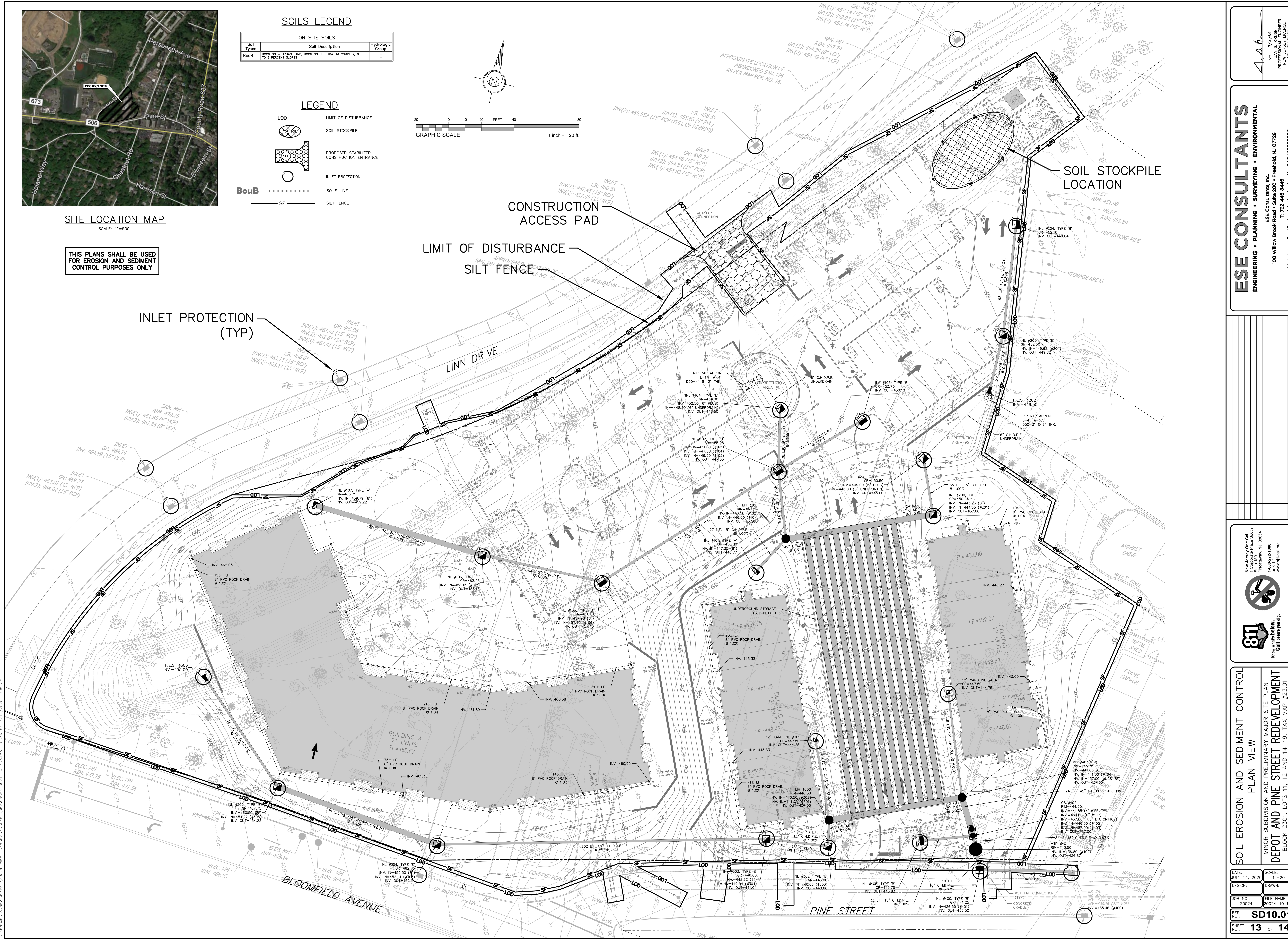
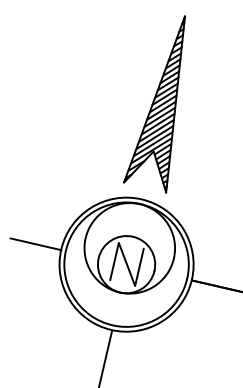
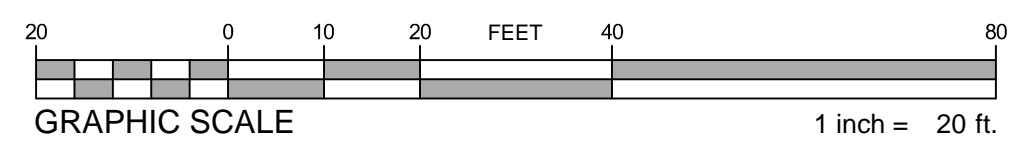
THIS PLANS SHALL BE USED FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY

SOILS LEGEND

Soil Types	Soil Description	Hydrologic Group
BouB	BOONTON - URBAN LAND, BOONTON SUBSTRATUM COMPLEX, 0 TO 8 PERCENT SLOPES	C

LEGEND

LOD	LIMIT OF DISTURBANCE
	SOIL STOCKPILE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	INLET PROTECTION
BouB	SOILS LINE
SF	SILT FENCE



DATE: 1/11/20
 DRAWN BY: JAY S. KRUSE
 PROJECT: EROSION AND SEDIMENT CONTROL PLAN
 NEW JERSEY LICENSE NO. 46041356

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NO.	DESCRIPTION	DATE

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SOIL EROSION AND SEDIMENT CONTROL PLAN VIEW

MINOR SUBDIVISION AND PRELIMINARY MAJOR SITE PLAN
 DEPOT AND PINE STREET REDEVELOPMENT
 BLOCK 2301, LOTS 11, 12 AND 14-19, TAX MAP #23.01,
 TOWNSHIP OF VERONA, ESSEX COUNTY, NEW JERSEY

DATE:	SCALE:
JULY 14, 2020	1"=20'
DESIGNER:	DRAWN:
JOB NO.: 20024	FILE NAME: 20024-10-ENS
REF. NO.:	SD10.01
SHEET NO.:	13 of 14

